HOUSE 88

4703 88TH AVENUE SOUTHEAST
MERCER ISLAND, WA 98040
PARCEL No. 275700-0050-00

05-18-2020 PERMIT REVISION SUBMITTAL

ABBREVIATIONS

AB	ANCHOR BOLT
AC	AIR CONDITIONING
ACC/ACCESS	ACCESSIBLE
ACOUS	ACOUSTICAL
AD	AREA DRAIN
ADD	ADDITIONAL
ADJ	ADJUSTABLE
ADJA	ADJACENT
AF	ACCESS FLOORING (RAISED)
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
AL	ALUMINUM
ALT	ALTER; ALTERNATE
ANCH	ANCHOR
ANOD	ANODIZED
AP	ACCESS PANEL
APC	ACOUSTICAL PANEL CEILING
APPD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ATC	ACOUSTICAL TILE CEILING
AUTO	AUTOMATIC
AV	AUDIO VISUAL
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOH	BACK OF HOUSE
BOT	BOTTOM
BR	BED ROOM
BRG	BEARING
BRK	BRICK
BRKT	BRACKET
BS	BOTH SIDES
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT-UP ROOFING
CAB	CABINET
CAT	CATEGORY
CB	CATCH BASIN
CBU	CEMENTITIOUS BACKER UNIT
CEM	CEMENT
CEM PLAS	CEMENT PLASTER
CER	CERAMIC
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CG	CORNER GUARD
CH	CHILLER
CHAN	CHANNEL
CI	CAST IRON
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT; CONSTRUCTION JOINT
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CASED OPENING; CLEANOUT
COL	COLUMN
COMP	COMPARTMENT
CONC	CONCRETE
COND	CONDITION
CONN	CONNECTION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CRM	CONCRETE RUBBLE MASONRY
CT	CERAMIC TILE; COOLING TOWER
CTR	CENTER
CTSK	COUNTERSUNK
CULT	CULTURED
CW	COLD WATER (PIPING)
D	DEEP; DEPTH; DRYER
DA	DOUBLE ACTING
DBL	DOUBLE
DD	DECK DRAIN
DEG	DEGREE
DEMO	DEMOLITION
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIFF	DIFFUSER
DIM	DIMENSION
DIS	DISABLED
DISP	DISPENSER
DMPF	DAMPPROOFING
DMT	DEMOUNTABLE
DN	DOWN
DO	DOOR OPENING
DP	DIMENSION POINT
DPTN	DEMOUNTABLE PARTITION
DR	DOOR
DRN	DRAIN
DS	DOWNSPOUT
DSP	DRY STANK PIPE
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
EB	EXPANSION BOLT
EC	ELASTOMERIC COATING; EXPOSED CONSTRUCTION
EFS	EXTERIOR FINISH SYSTEM
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELAS	ELASTOMERIC
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EOS	EDGE OF SLAB
EP	ELECTRICAL PANELBOARD
EQ	EQUAL
EQPM	EQUIPMENT
ESCAL	ESCALATOR
EW	EACH WAY
EWC	ELECTRICAL WATER COOLER
EXH	EXHAUST
EXP	EXPANSION
EXPO	EXPOSED
EXST	EXISTING
EXT	EXTERIOR
F	FEMALE
FA	FIRE ALARM
FAB	FABRICATE
FB	FLAT BAR
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF&E	FURNITURE, FINISHES & EQUIPMENT
FFEL	FINISH FLOOR ELEVATION
FH	FLAT HEAD
FHC	FIRE HOSE CABINET
FIN	FINISH
FIXT	FIXTURE
FL	FLOOR
FLASH	FLASHING
FLDG	FOLDING
FLG	FLOORING
FLUOR	FLUORESCENT
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS; SLAB; STRUCTURE
FOW	FACE OF WALL
FP	FIRE PROTECTION
FPG	FIREPROOFING
FR	FRAME
FRP	FIBERGLASS REINFORCED POLYESTER
FRT	FIRE RETARDANT TREATED
FRTW	FIRE RETARDANT TREATED WOOD
FRZ	FREEZER
FS	FLOOR SINK
FT	FOOT; FEET
FTD	FACIAL TISSUE DISPENSER
FTG	FOOTING
FURN	FURNITURE
FURR	FURRING; FURRED
FUT	FUTURE
FWC	FABRIC WALLCOVERING
FWP	FABRIC WRAPPED PANE
GA	GAGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACT(OR)
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GL	GLASS
GLU-LAM	GLUE LAMINATED WOOD
GND	GROUND
GR	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
H	HIGH/HEIGHT
HB	HOSE BIBB
HC	HOLLOW CORE
HCP	HANDICAPPED
HDW	HARDWARE
HDWD	HARDWOOD
HS	HEAT STRENGTHENED (GLASS)
HM	HOLLOW METAL (STEEL FRAME)
HNDRL	HANDRAIL
HO	HOLD-OPEN
HORLZ	HORIZONTAL
HPT	HIGH POINT
HR	HOUR
HRC	HOSE REEL CABINET
HS	HAND SINK
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HW	HOT WATER
HYDR	HYDRAULIC
ID	INSIDE DIAMETER (DIMENSION)
IN	INCH
INCAND	INCANDESCENT
INCL	INCLUSIVE; INCLUDED; INCLUDING
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INTEG	INTEGRATED
INTERM	INTERMEDIATE
INV	INVERT
IPS	INTERNATIONAL PIPE STANDARD
IRMA	INVERTED ROOF MEMBRANE ASSEMBLY
JAL	JALOUSIE
JAN	JANITOR
JB	JUNCTION BOX
JC	JANITOR'S CLOSET
JST	JOIST
JT	JOINT
K	KIP (1000 LBF)
KD	KNOCK DOWN
KIT	KITCHEN
KPL	KICK PLATE
KG	KILOGRAM
KO	KNOCKOUT
L	LONG OR LITER (METRIC DOCS)
LAB	LABORATORY
LAM	LAMINATE; LAMINATION
LAV	LAVATORY
LB	POUND
LDG	LANDING
LF	LINEAR FOOT
LH	LEFT HAND
LKR	LOCKER
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LN	LINE
LPT	LOW POINT
LR	LIVING ROOM
LT	LIGHT
LVR	LOUVER
M	MALE; METER
MACH	MACHINE
MAINT	MAINTENANCE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MBR	MASTER BED ROOM
MC	MEDICINE CABINET
MDF	MEDIUM DENSITY FIBERBOARD
MDO	MEDIUM DENSITY OVERLAY PLYWOOD
MECH	MECHANICAL
MEMB	MEMBRANE
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MET	METAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MLDG	MOLDING
MM	MILLIMETER
MO	MASONRY OPENING
MOD	MODULAR
MR	MOISTURE RESISTANT
MS	MACHINE SCREW
MTD	MOUNTED
MTG	MOUNTING
MTL	METAL
MUL	MULLION
MUN	MUNTIN
N	NORTH
NA	NOT APPLICABLE
NC	NOISE CRITERIA
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OBS	OBSCURE
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OD	OUTSIDE DIAMETER; DIMENSION
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFD	OVER FLOW DRAIN
OFF	OFFICE
OFOI	OWNER FURNISHED, OWNER INSTALLED
OH	OVERHEAD
OPH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OPP	HD OPPOSITE HAND
OPR	OPERABLE
ORD	OVERFLOW ROOF DRAIN
OVHD	OVERHEAD
P	PAINT
PA	PUBLIC ADDRESS SYSTEM
PARTN	PARTITION
PASS	PASSAGE
PATD	PAPER TOWEL DISPENSER
PAV	PAVING
PBD	PARTICLEBOARD
PC	PRECAST CONCRETE
PD	PLANTER DRAIN
PDF	POWDER DRIVEN FASTENER
PERF	PERFORATED
PERIM	PERIMETER
PERP	PERPENDICULAR
PH	PENTHOUSE
PI	POINT OF INTERSECTION
PL	PLATE; PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLF	POUNDS PER LINEAR FOOT
PLYWD	PLYWOOD
PNL	PANEL
POL	POLISHED
PR	PAIR
PRCST	PRECAST
PREFAB	PREFABRICATED
PROJ	PROJECT
PROP	PROPERTY
PSF	POUNDS PER SQUARE FOOT
PT	POINT; PAINT
PTD	PAPER TOWEL DISPENSER; PAINTED
PTDR	PAPER TOWEL DISPENSER & WASTE RECEPTACLE
PTN	PARTITION
PTR	PAPER TOWEL RECEPTACLE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
QT	QUARRY TILE
QTY	QUANTITY
(R)	RELOCATED
R	RISER; RADIUS
RA	RETURN AIR
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REBAR	REINFORCING BAR
RECOM	RECOMMENDED
RECPT	RECEPTACLE
REC	RECESSED
REF	REFERENCE
REFL	REFLECTED; REFLECTIVE; REFLECT
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCED; REINFORCING
REL	RELOCATE
REM	REMOVABLE
REQ	REQUIRE; REQUIRED
RESIL	RESILIENT
REV	REVISION; REVISED
RGH	ROUGH
RH	RIGHT HAND; ROBE HOOK
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
RTD	RATED
RTG	RATING
RWC	RAIN WATER CONDUCTOR
RWL	RAIN WATER LEADER
S	SOUTH
SA	SUPPLY AIR
SAN	SANITARY
SC	SOLID CORE
SCD	SEAT COVER DISPENSER
SCHED	SCHEDULE
SCP	SCUPPER
SCR	SCREEN
SD	STORM DRAIN; SMOKE DETECTOR; SOAP DISPENSER
SECT	SECTION
SF	SQUARE FEE; FOOT
SG	SAFETY GLASS
SH	SPRINKLER HEAD
SHT	SHEET
SHTG	SHEATHING
SHR	SHOWER
SIM	SIMILAR
SL	SLOPE
SLDG	SLIDING
SLNT	SEALANT
SM	SHEET METAL; SQUARE METER
SND	SANITARY NAPKIN DISPENSER
SDR	SANITARY NAPKIN RECEPTACLE
SP	STANDPIPE
SPEC	SPECIFICATION
SPKR	SPEAKER
SPRK	SPRINKLER
SQ	SQUARE
SSE	STRUCTURE SLAB ELEVATION
SS	STAINLESS STEEL
SSK	SERVICE SINK
STA	STATION
STD	STANDARD
STL	STEEL
STL JST	STEEL JOIST
STOR	STORAGE
STRG	STRINGER
STRL	STRUCTURAL
STRUC	STRUCTURAL
SUBCAT	SUBCATEGORY
SURR	SURROUND
SUSP	SUSPENDED
SVC	SERVICE
SW	SWITCH
SYM	SYMMETRICAL
SYS	SYSTEM
T&G	TONGUE & GROOVE
T	TREAD; THERMOSTAT
TB	TOWEL BAR
TBB	TILE BACKER BOARD
TC	TOP OF CURB
TD	TRENCH DRAIN
TEL	TELEPHONE; TELECOM
TEMP	TEMPORARY; TEMPERATURE
TER	TERRAZZO
TGB	TOGGLE BOLT
THK	THICK; THICKNESS
THRES	THRESHOLD
THRU	THROUGH
TKBD	TACK BOARD
TMPD	TEMPERED
TO	TOP OF
TOC	TOP OF CURB; TOP OF CONCRETE
TOP	TOP OF PAVEMENT
TOS	TOP OF SLAB; TOP OF STRUCTURE
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TPH	TOILET PAPER HOLDER
TRACT	TRACTION
TRAN	TRANSITION
TRD	TREAD
TS	TOWEL SHELF
TV	TELEVISION
TW	TOP OF WALL
TYP	TYPICAL
UC	UNDERCUT
UL	UNDERWRITERS LABORATORY
UNF	UNFINISHED
UON	UNLESS OTHERWISE NOTED
UR	URINAL
VAC	VENTILATION AND AIR CONDITIONING
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VOL	VOLUME
VP	VENEER PLASTER
VR	VAPOR RETARDER
VT	VINYL TILE
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W/	WITH
W/O	WITHOUT
W	WASHER; WIDE; WIDTH; WEST
WC	WATER CLOSET; WALL COVERING
WD	WOOD
WDS	WOOD SCREW
WDW	WINDOW
WGL	WIRE GLASS
WH	WATER HEATER
WO	WHERE OCCURS
WP	WATERPROOFING
WPM	WATERPROOFING MEMBRANE
WPT	WORK POINT
WR	WATER RESISTANT; REPELLANT
WS	WEATHER STRIPPING
WSCT	WAINSCOT
WSP	WET STAND PIPE
WT	WEIGHT
WW	WALL TO WALL
WWF	WELDED WIRE FABRIC

SYMBOLS

ELEVATION INDICATOR — LEVEL 0' - 0" — LEVEL 0' - 0"

BORING INDICATOR — EL

BREAK, ROUND

BREAK, STRAIGHT

DETAIL INDICATOR — 1 / A101

DETAIL INDICATOR, LINE — 1 / A101

DETAIL INDICATOR, LINE WITH TAIL — 1 / A101

DIMENSION LINE — 3'-0"

DOOR OPENING, DOOR TAG — 102A

ELEVATION INDICATOR, EXTERIOR — A / A101

ELEVATION INDICATOR, INTERIOR — A / A101

ELEVATION INDICATOR, INTERIOR MULTIPLE — 1 / 2 / 3 / 4 / A101

FURNITURE, FIXTURES AND EQUIPMENT INDICATOR — AXXX

KEYNOTE INDICATOR — XX

LEADER, STRAIGHT — NOTE

WINDOW TYPE IDENTIFIER — 00

NORTH INDICATOR — N

REFERENCE GRID INDICATOR WITH REFERENCE GRID LINES — 1, 2, A, B

REVISION INDICATOR (SHOWN WITH REVISION CLOUD) TYPICAL

ROOM NAME IDENTIFIER WITH ROOM NAME AND NUMBER — ROOM NAME / XXX

SECTION INDICATOR FOR BUILDING — 1 / A101 — object referenced — 1 / A101

SECTION INDICATOR FOR PARTIAL BUILDING — 1 / A101 — object referenced

WALL TYPE INDICATOR — 0X0X — FIRE RATING; PARTITION TYPE LETTER; PARTITION TYPE MODIFIER; WIDTH INDICATOR

PROJECT TEAM

OWNER:
VIEWCREST CAPITAL
11900 1ST ST. SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

6

ARCHITECT:
STUDIO19 ARCHITECTS
207½ 1ST AVENUE SOUTH
SUITE 300
SEATTLE, WA 98104
CONTACT: ADAM BOWHAY
TEL: 206-466-1225
EMAIL: ABOWHAY@STUDIO19ARCHITECTS.COM

CIVIL ENGINEER:
LITCHFIELD ENGINEERING
12840 81ST AVE NE
KIRKLAND, WA 98034
CONTACT: KEITH LITCHFIELD
TEL: 425-821-5038
EMAIL: KA.LITCHFIELD@FRONTIER.COM

STRUCTURAL ENGINEER:
MALSAM - TSANG STRUCTURAL ENGINEERING
122 SOUTH JACKSON STREET SUITE 210
SEATTLE, WA 98104
CONTACT: SCOTT HUFFORD
TEL: 206-789-6038
EMAIL: SCOTT@MALSAM-TSANG.COM

SURVEYOR:
GEODIMENSIONS INC.
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
CONTACT: SCOTT HUFFORD
TEL: 206-789-6038
EMAIL: KENNYG@GEODIMENSIONS.NET

ARBORIST
ARBUTUS DESIGN
1906 14TH AVE. E
SEATTLE, WA 98112
CONTACT: M. ELIZA DAVIDSON
TEL: 206-335-6388
EMAIL: ARBUTUSDESIGNLLC@GMAIL.COM

6

DRAWING INDEX

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

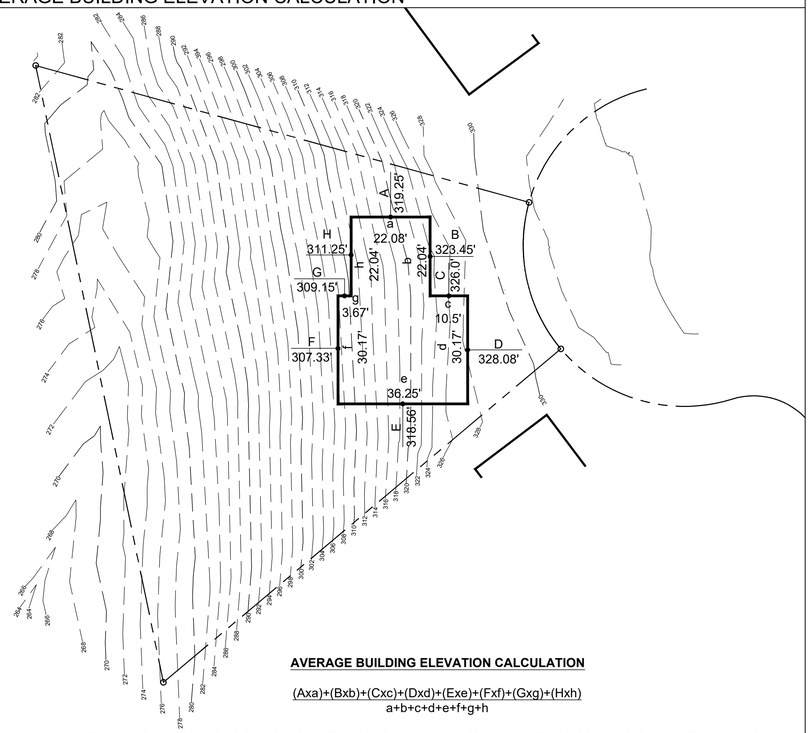
SHEET TITLE:

COVERSHEET

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: G0.01

AVERAGE BUILDING ELEVATION CALCULATION



AVERAGE BUILDING ELEVATION CALCULATION

$$\frac{(Axa)+(Bxb)+(Cxc)+(Dxd)+(Exe)+(Fxf)+(Gxg)+(Hxh)}{a+b+c+d+e+f+g+h}$$

$$\frac{(319.25x22.08)+(323.45x22.04)+(326.0x10.5)+(328.08x30.17)+(318.56x36.25)+(307.33x30.17)+(309.15x3.67)+(311.25x22.04)}{22.08+22.04+10.5+30.17+36.25+30.17+3.67+22.04}$$

$$\frac{56313.53 = 318.30'}{176.92}$$

A.B.E. =318.30'

GRADING CALCULATIONS

TOTAL CUT (CUBIC YARDS):
AREA A - BASEMENT & CRAWL SPACE @ SOUTH FOOTING: 46 CU. YDS.
AREA B - BASEMENT & CRAWL SPACE BETWEEN SOUTH FOOTING AND STAIR: 89 CU. YDS
AREA C - BASEMENT @ STAIR: 106 CU. YDS.
AREA D - FOOTINGS @ GARAGE: 53 CU. YDS.
AREA E - DRIVEWAY: 15 CU. YDS
AREA F - FRONT PATIO: 16 CU. YDS
AREA G - SOUTHERN RETAINING WALLS / PLANTERS: 57 CU. YDS.
AREA H - SOUTH BASEMENT DECK FOOTING: 37 CU. YDS.

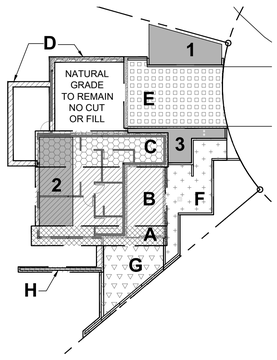
TOTAL CUT: 419 CU. YDS

TOTAL FILL (CUBIC YARDS):

AREA 1 - NORTH PLANTER: 10 CU. YDS.
AREA 2 - WESTERN PORTION OF BASEMENT: 20 CU YDS.
AREA 3 - EASTERN PLANTER: 8 CU.YDS

TOTAL FILL = 38 CU. YDS

TOTAL CUT AND FILL: 457 CUBIC YARDS



ZONING REGULATION SUMMARY

SECTION	EXISTING / REQUIRED	PROPOSED	COMPLIES	SHEET
ZONING	R-9.6	R-9.6	YES	G0.02
LOT SIZE	13,746 SF			SRVY
CRITICAL AREAS	STEEP SLOPE			
	HILLSIDE (51% SLOPE)			SRVY
	TYPE 2 WATERCOURSE (50 FT BUFFER)	TYPE 3 WATERCOURSE (35 FT BUFFER)	YES	SRVY & A1.01
MAXIMUM BUILDABLE AREA	45% of LOT AREA (13,746 SF) = 6,064 SF	4,245 SF (31%)	YES	G0.02
MAXIMUM IMPERVIOUS COVERAGE	20% of LOT AREA (13,746 SF) = 2,749.2 SF	2,720.27SF (19.73%)	YES	G0.02, A1.01
BUILDING HEIGHT LIMIT	30' FROM AVERAGE BUILDING GRADE (348.3'). 35' FROM EXISTING GRADE TO TOP OF PLATE ON DOWNHILL SIDE. (ROOF PEAK MUST STILL BE BELOW 30' HEIGHT LIMIT	BUILDING HEIGHT IS 347.74' (ROUGHLY 6" BELOW HEIGHT LIMIT) FROM AVERAGE BUILDING GRADE. 35' FROM EXISTING GRADE TO TOP OF PLATE ON DOWNHILL SIDE. (ROOF PEAK IS STILL BE BELOW 30' HEIGHT LIMIT)	YES	G0.02, A3.01 - A3.04, A4.01 - A4.05
SETBACKS	FRONT = 20' MINIMUM	16' (PROPOSED 4 FT FRONT SETBACK REDUCTION)	YES	A1.01
	REAR = 25' MINIMUM	25'	YES	A1.01
	SIDES = 5' MINIMUM	5'	YES	A1.01
PARKING	2 COVERED SPACES & 1 ADDITIONAL OFF-STREET PARKING SPACE / DWELLING UNIT	2 COVERED SPACES & 1 ADDITIONAL OFF-STREET PARKING SPACE / DWELLING UNIT	YES	A2.01
PARKING ACCESS	ACCESS FROM PUBLIC ROAD	17 FT DRIVE	YES	A2.01
LANDSCAPING	TOTAL DIAMETER OF TREES RETAINED OR PLANTED = 2 INCH PER 1000 SF	1	YES	A1.02
FIRE SPRINKLERS	PER NFPA 13D - REQUIRED ON STRUCTURES 5,000 SF OR MORE	NO	YES	DEFERED
CONSTRUCTION TYPE	RESIDENTIAL - TYPE VA			
WATER	WATER DISTRICT			
SEWER / SEPTIC	PUBLIC			
ROAD ACCESS	PUBLIC			
STREET SURFACE	PAVED- ASPHALT			

ENERGY CODE INFORMATION

PERFORMANCE REQUIREMENT	MEET OR EXCEED THE 2012 WASHINGTON STATE ENERGY CODE	PROPOSED
TOTAL HEATED FLOOR AREA (GROSS)		3,017.01 SF
LEVEL 1		1,394 SF
LEVEL 2		976.21 SF
LEVEL 3		646.80
GLAZING AREA % OF FLOOR	OPTION III : UNLIMITED	1,310.67 SF
CLIMATE ZONE	1	
FENESTRATION U-FACTOR	0.30	
CEILING R-VALUE	R-49 OR R-38 ADVANCED FRAMED CEILING	
WOOD FRAME WALL ABOVE GRADE R-VALUE	R-21 (16 OC, HEADERS MIN R-10)	
FLOOR R-VALUE / U-FACTOR	R = 30 / U = 0.029	
SLAB ON GRADE R-VALUE	R = 10, 2'	
BELOW GRADE U-FACTOR	0.042	
DOOR U-FACTOR	0.20	
DOOR U-FACTOR (DEFAULT GLAZED FENESTRATION U-FACTOR, METAL WITH THERMAL BREAK, DOUBLE PANE; TABLE R303.1.3 (1))	0.65	

VENTILATION NOTES

1. PROVIDE PROPER ROOF & CRAWL SPACE VENTILATION PER IBC..
2. VENT DRYER TO OUTSIDE PER MECHANICAL CODE.
3. VENT ALL FANS TO OUTSIDE W/ 3' MIN. SEPARATION TO BUILDING OPENINGS OR >.
4. VENT HOT WATER TANK TO EXPANSION TANK.
5. VENT DISHWASHER AT SINK.
6. EXHAUST MINIMUMS:
   A. PROVIDE SOURCE SPECIFIC INTERMITTENT OPERATION EXHAUST FANS WITH THE FOLLOWING MINIMUM STANDARDS:
      - BATHROOMS / LAUNDRY ROOMS: 75 CFM AT 0.25" W.G.
      - KITCHEN HOODS & DOWNDRAFTS: 150 CFM AT 0.10" W.G.
7. PROVIDE INTEGRATED WHOLE HOUSE VENTILATION WITH FORCED AIR SYSTEM. WHOLE HOUSE VENTILATION SYSTEM SHALL CONFORM WITH STATE VENTILATION AND INDOOR AIR CODE - CURRENT EDITION AND SHALL BE CAPABLE WITH THE FOLLOWING MINIMUM STANDARDS:
   A. SYSTEM SHALL PROVIDE OUTDOOR AIR AT THE RATE OF 90 CFM PER M1507.3.3.
   B. SYSTEM SHALL DISTRIBUTE OUTDOOR AIR TO EACH HABITABLE SPACE THROUGH THE FORCED-AIR SYSTEM DUCTS.
   C. SYSTEM SHALL HAVE AN OUTDOOR AIR INLET DUCT CONNECTING A TERMINAL ELEMENT ON THE OUTSIDE OF THE BUILDING TO THE RETURN AIR PLENUM OF THE FORCED-AIR SYSTEM, AT A POINT WITHIN 4 FEET UPSTREAM OF THE AIR HANDLER.
   D. THE OUTDOOR AIR INLET DUCT CONNECTION TO THE RETURN AIR STREAM SHALL BE LOCATED UPSTREAM OF THE FORCED-AIR SYSTEM BLOWER AND SHALL NOT BE CONNECTED DIRECTLY INTO A FURNACE CABINET TO PREVENT THERMAL SHOCK TO THE HEAT EXCHANGER.
   E. THE SYSTEM WILL BE EQUIPPED WITH A MOTORIZED DAMPER CONNECTED TO THE AUTOMATIC VENTILATION CONTROL AS SPECIFIED IN SECTION M1507.3.2.
   F. THE REQUIRED FLOW RATE SHALL BE VERIFIED BY FIELD TESTING WITH A FLOW HOOD OR A FLOW MEASURING STATION.
8. VENTILATION DUCT INSULATION:
   A. ALL SUPPLY DUCTS IN THE CONDITIONED SPACE SHALL BE INSULATED TO A MINIMUM OF R-4. PER M1507.3.5.2
   B. OUTDOOR AIR INLETS. INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL.
   C. OUTDOOR AIR INLETS SHALL BE LOCATED SO AS NOT TO TAKE AIR FROM THE FOLLOWING AREAS:
      1. CLOSER THAN 10 FEET FROM AN APPLIANCE VENT OUTLET, UNLESS SUCH VENT OUTLET IS 3 FEET ABOVE THE OUTDOOR AIR INLET.
      2. WHERE IT WILL PICK UP OBJECTIONABLE ODORS, FUMES OR FLAMMABLE VAPORS.
      3. A HAZARDOUS OR UNSANITARY LOCATION.
      4. A ROOM OR SPACE HAVING ANY FUEL-BURNING APPLIANCES THEREIN.
      5. CLOSER THAN 10 FEET FROM A VENT OPENING OF A PLUMBING DRAINAGE SYSTEM UNLESS THE VENT OPENING IS AT LEAST 3 FEET ABOVE THE AIR INLET.
      6. ATTIC, CRAWL SPACES, OR GARAGES.

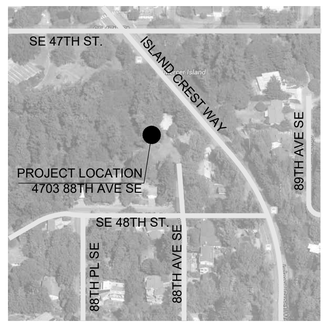
PROJECT INFORMATION

PROJECT DESCRIPTION:	CONSTRUCT A NEW SINGLE FAMILY RESIDENCE AND RELATED SITE IMPROVEMENTS
PROPERTY ADDRESS:	4703 88TH AVENUE SOUTHEAST MERCER ISLAND, WA 98040
SEISMIC ZONE:	ZONE 3
LEGAL DESCRIPTION:	LOT 5, GILBERT ADDITION, AS PER PLAT RECORDED IN VOLUME 74 OF PLATS PAGE 47 RECORDS OF KING COUNTY. SITUATE IN THE CITY OF MERCER ISLAND, WASHINGTON.
ASSESSOR'S PARCEL NO:	275700-0050-00
LOT AREA:	13,746 SQ. FT.
APPLICABLE CODES:	MERCER ISLAND MUNICIPAL CODE, ADOPTED NOVEMBER 19, 2019 2012 INTERNATIONAL BUILDING CODE WITH STATEWIDE AND CITY AMENDMENTS 2012 INTERNATIONAL RESIDENTIAL CODE WITH STATEWIDE AND CITY AMENDMENTS 2012 SEATTLE ENERGY CODE - RESIDENTIAL 2012 INTERNATIONAL MECHANICAL CODE WITH STATEWIDE AND CITY AMENDMENTS WASHINGTON CITIES ELECTRICAL CODE 2012 INTERNATIONAL FIRE CODE WITH STATEWIDE AND CITY AMENDMENTS 2012 INTERNATIONAL FUEL GAS CODE WITH STATEWIDE AND CITY AMENDMENTS 2012 WASHINGTON STATE PLUMBING CODE WITH CITY AMENDMENTS

BUILDING CODE INFORMATION

USE GROUP:	R3 (SINGLE FAMILY)
CONSTRUCTION TYPE:	RESIDENTIAL - TYPE V
FIRE SPRINKLER SYSTEM:	MERCER ISLAND FIRE PREVENTION OFFICE TO MAKE A DETERMINATION OF THE NEED FOR AUTOMATIC FIRE SPRINKLERS BASED UPON THE 2012 INTERNATIONAL FIRE CODE.

VICINITY MAP



NOTES

GENERAL NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, AND LOCAL BUILDING AND FIRE CODES AS REQUIRED.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS OTHER THAN THE BUILDING PERMIT. ADDITIONALLY, PAY FOR ALL OTHER CHARGES, FEES OR COSTS ASSOCIATED WITH THE WORK AND CHARGED BY THE MUNICIPALITY, UTILITIES, OR PRIVATE COMPANIES.
3. GENERAL CONTRACTOR SHALL VISIT JOB SITE AND VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. ANY CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND APPROVED BEFORE COMMENCING WORK..
4. GENERAL CONTRACTOR SHALL COORDINATE ALL EQUIPMENT OR SYSTEMS TO BE SALVAGED WITH THE OWNER. THE OWNER SHALL DIRECT THE CONTRACTOR AS TO THE LOCATION OF A STORAGE AREA FOR SALVAGED ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL FROM THE CONSTRUCTION SITE ALL CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER'S REPRESENTATIVE.
5. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR STRUCTURES UNTIL ALL FINAL CONNECTIONS ARE INSTALLED.
6. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

DRAWINGS:
1. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK. DO NOT SCALE DRAWINGS.
2. NOTIFY ARCHITECT CONCERNING QUESTIONS, CHANGES, CONFLICTS OR OMISSIONS. IN THE EVENT OF CONFLICTS OR CHANGES BETWEEN DETAILS OR BETWEEN THE PLANS AND SPECIFICATIONS, NOTIFY ARCHITECT IMMEDIATELY. OBTAIN CLARIFICATION BEFORE PROCEEDING.
3. FACE OF FRAMING IS TO BE FLUSH WITH FACE OF CONCRETE, UNLESS OTHERWISE INDICATED.
4. THE TYPICAL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE AND/OR FACE OF FRAMING. INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE INDICATED.
5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. REFER TO ARCHITECTURAL DRAWINGS FOR OPENINGS, ARCHITECTURAL REQUIREMENTS AND DIMENSIONS.
6. INFORMATION CONTAINED WITHIN THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR. ALL ATTEMPTS HAVE BEEN MADE TO ACCURATELY REPRESENT THE EXISTING BUILDING AND SURROUNDINGS VIA OWNER SUPPLIED AS-BUILTS AND FIELD VERIFICATION. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK TO AVOID UNREASONABLE DELAYS TO THE SCHEDULE.
7. ALL DRAWINGS OF EXISTING CONDITIONS ARE FOR REFERENCE ONLY, ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED.

MATERIALS / ASSEMBLIES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE COUNTY, AND LOCAL BUILDING AND FIRE CODES AS REQUIRED.
2. ALL WOOD AND SONITUBE FORMS USED FOR CONCRETE IN THE GROUND OR BETWEEN FOUNDATION SILLS & THE GROUND SHALL BE REMOVED.
3. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WOOD OR ANY SPECIES OR FOUNDATION GRADE CEDAR OR REDWOOD, ALL MARKED BY AN APPROVED TESTING AGENCY.
4. PROVIDE 90# FELT BETWEEN POSTS & CONCRETE.
5. PROVIDE DRAFT STOPS, FIRE BLOCKING, AND FIRESTOPS AS REQUIRED BY CODE.
6. FLASHING AND COUNTER FLASHING TO BE MIN. 24 GAUGE OF CORROSION-RESISTANT METAL, AND SHALL BE INSTALLED IN COMPLIANCE WITH LOCAL BUILDING CODES AND MANUFACTURES RECOMMENDATIONS.
7. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED HARDWARE, TOILET ACCESSORIES, TOWEL BARS, LIGHT FIXTURES, BUILT-INS, ETC., AS REQUIRED FOR SECURE AND PROPER INSTALLATION.

WINDOWS / DOORS:
1. IN EACH SLEEPING ROOM AN EGRESS WINDOW OR DOOR SHALL BE PROVIDED THAT HAS 5.7 SF OF CLEAR NET OPERABLE AREA. THE SMALLEST CLEAR MIN. DIMENSION SHALL NOT BE LESS THAN 20" IN WIDTH OR 24" IN HEIGHT. WINDOW SILLS IN SLEEPING ROOMS NOT TO EXCEED 44" ABOVE FLOOR.
2. ALL WINDOWS TO BE DOUBLE-GLAZED WITH A MINIMUM U-VALUE OF 0. 35 OR BETTER.
3. ALL GLASS IN A DOOR OR WITHIN 12" OF DOOR, OR WITHIN 18" OF FLOOR OR WITHIN 60" OF TUB FLOOR, OR ANY OTHER HAZARDOUS AREA PER CODE, TO BE TEMPERED SAFETY GLASS.
4. 20 MIN., SELF-CLOSING DOOR REQUIRED AT GARAGE ENTRANCE TO LIVING SPACE.

MECHANICAL / ELECTRICAL:
1. ALL WASTE LINES TO BE INSULATED WITH ACOUSTIC INSULATION.
2. ELECTRICAL WIRING SHALL CONFORM TO THE 2012 WASHINGTON STATE ELECTRICAL CODE.
3. INSTALL OUTLETS AND SWITCHES AT HEIGHTS AND LOCATIONS REQUIRED BY 2006 INTERNATIONAL RESIDENTIAL CODE. AND THE 2012 WASHINGTON STATE ELECTRICAL CODE.
4. LIGHTING WATTAGE SHALL MEET THE 2012 WASHINGTON STATE ELECTRICAL CODE.
5. PROVIDE SMOKE DETECTORS AND FIRE SUPPRESSION SYSTEMS TO MEET THE 2012 INTERNATIONAL RESIDENTIAL CODE AND 2012 INTERNATIONAL FIRE CODE.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

CODE SUMMARY & GENERAL NOTES

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

G-0.02

SITE ADDRESS:
VICINITY OF 88TH AVENUE SOUTHEAST AND SOUTHEAST 48TH STREET
MERCER ISLAND, WASHINGTON 98040

TAX PARCEL NUMBER:
275700-0050-00

ZONING:
R-9.6 = RESIDENTIAL 9.6

FLOOD MAP:
LOCATED IN ZONE "X" AND IS OUTSIDE 500 YEAR FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 53033C0675F, MAP NOT PRINTED.

AREA:
TOTAL SITE AREA IS 13,746 SQUARE FEET OR 0.31 ACRES.

METHOD OF SURVEY:
INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS WASHINGTON STATE STANDARDS SET BY WAC 332-130-090.

UNDERGROUND UTILITIES:
BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. GEODIMENSIONS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

VERTICAL DATUM:
NAVD88 PER GPS
THE ACCURACY OF ELEVATIONS SHOWN MEET OR EXCEED THE STANDARDS SET BY WAC 332-130-080.

SITE BENCHMARK: SEWER MH RIM IN CUL-DE-SAC, ELEV=334.87'

BASIS OF BEARING:
CENTERLINE OF SOUTHEAST 48TH STREET BEARS SOUTH 88°11'03" EAST PER PLAT

LEGAL DESCRIPTION:
LOT 5, GILBERT ADDITION, AS PER PLAT RECORDED IN VOLUME 74 OF PLATS, PAGE 47, RECORDS OF KING COUNTY.

SITUATE IN THE CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON.

REFERENCE:
LEGAL DESCRIPTION BASED ON DEED FURNISHED BY RIDDELL WILLIAMS, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20110926000363, DATED SEPTEMBER 26, 2011.

Edwin J. Green Jr. — 5/12/2015

EDWIN J. GREEN JR. PLS#15022 — DATE

SURVEY LEGEND

ASPH	ASPHALTIC CONCRETE
	BUILDING LINE
CRW	CONCRETE RETAINING WALL
	FOUND SURVEY MONUMENT
	FOUND REBAR AS NOTED
MH	MAINTENANCE HOLE
XX-X	WETLAND FLAG

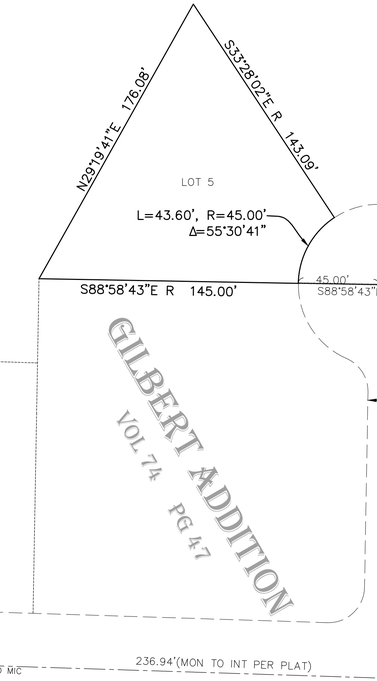
(IN FEET)
1 inch = 10 ft.

STEEP SLOPE/BUFFER DISCLAIMER

THE LIMITS OF THE 40% AS SHOWN ON THIS DRAWING IS OUR INTERPRETATION WHICH MAY DIFFER FROM THAT OF THE REVIEWING AGENCY. THE LIMITS OF THE 40% SLOPES AND ASSOCIATED SETBACKS NEEDS TO BE DETERMINED BY THE RESPECTIVE REVIEWING AGENCY, PRIOR TO ANY DESIGN AND OR CONSTRUCTION TAKING PLACE.

STEEP SLOPES LEGEND				
RANGE	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA
1	40.00%	51.37%		12400.48 SQ FT

CONTROL MAP
SCALE: 1" = 40'



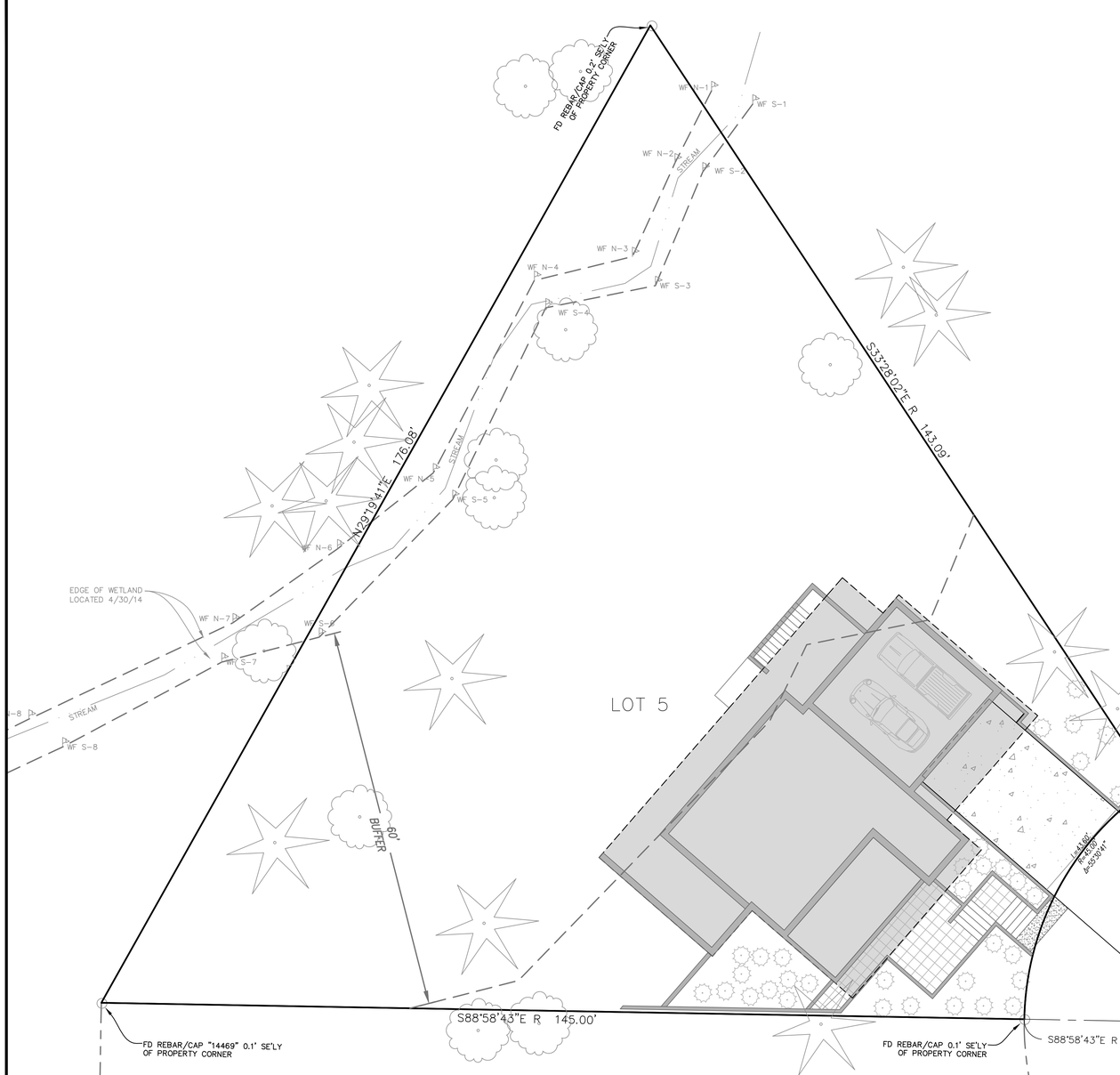
GeoDimensions
GeoDimensions, Inc., 10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@geodimensions.net
www.geodimensions.net

EDWIN J. GREEN JR. 15022 REGISTERED PROFESSIONAL LAND SURVEYOR STATE OF WASHINGTON

NO	REVISION	DATE
4	ADDED UTILITIES AND INVERT INFO	5/12/15
3	LOCATED OFFSITE TREES, ADD SITE BENCHMARK NOTE (TLK)	2/24/15
2	WETLAND FLAGS, ADJOINER HOUSES & WALL LOCATED (TLK)	9/5/14
1	ADDED MAX SLOPE (TLK)	5/7/14

TOPOGRAPHIC SURVEY
SW 1/4, SW 1/4 OF SEC 18, TWP 24N, RGE 5E, WM
ZHANG
275700-0050-00
MERCER ISLAND WASHINGTON

JOB NO.: 13994
DATE: 10/17/2013
DRAFTED BY: CJC
CHECKED BY: EJG
SCALE: 1" = 10'
1 OF 1



GRAPHIC SCALE

10 0 5 10

SCALE: 1" = 10'

LEGEND

ASPH	ASPHALTIC CONCRETE
CRW	CONCRETE RETAINING WALL
	FOUND SURVEY MONUMENT
	FOUND REBAR AS NOTED
MH	MAINTENANCE HOLE
WF N-X / WF S-X	WETLAND FLAG
S — S	SANITARY SEWER LINE
SD	STORM DRAIN LINE
OH	OVERHEAD POWER LINE
X — X — X	CHAIN LINK FENCE LINE
	WOOD FENCE LINE
	CONCRETE PAVING
	ASPHALT PAVING
	BUILDINGS
	GRAVEL SURFACE

GENERAL NOTES

1. ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
2. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT..
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
5. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
6. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.

GILBERT ADDITION
VOL 74 PG 47

VICINITY MAP
NOT TO SCALE

PROJECT DATA

PROPERTY ADDRESS:	VICINITY OF 88TH AVENUE SE AND SE 48TH STREET MERCER ISLAND, WASHINGTON 98040
TAX LOT NUMBER:	275700-0050
SITE AREA:	13,746 SF (0.31 ACRES)
ZONING	R-9.6 = RESIDENTIAL 9.6

PROJECT TEAM

OWNER: VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005
(425) 449-4160
CONTACT: ANDREW PARK

ARCHITECT: STUDIO 19 ARCHITECTS
207-1/2 FIRST AVE. SOUTH, STE 300
SEATTLE, WA 98104
(206) 466-1225

CIVIL ENGINEER: LITCHFIELD ENGINEERING
12840 81ST AVE NE
KIRKLAND, WA 98034
(425) 821-5038
CONTACT: KEITH LITCHFIELD, PE

GEOTECHNICAL: THE RILEY GROUP
17522 BOTHELL WAY NE
BOTHELL, WA 98034
(425) 415-0551
CONTACT: RICKY WANG, PHD, PE

SURVEYOR: GEODIMENSIONS, INC.
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
(425) 458-4488
CONTACT: EDWIN J. GREEN, PLS

LEGAL DESCRIPTION

LOT 5, GILBERT ADDITION, AS PER PLAT RECORDED IN VOLUME 74 OF PLATS, PAGE 47, RECORDS OF KING COUNTY.

SITUATE IN THE CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON.

REFERENCE: LEGAL DESCRIPTION BASED ON DEED FURNISHED BY RIDDELL WILLIAMS, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20110926000363, DATED SEPTEMBER 26, 2011.

BASIS OF BEARING

CENTERLINE OF SOUTHEAST 48TH STREET BEARS SOUTH 88°11'03" EAST PER PLAT

VERTICAL DATUM

NAVD88 PER GPS

CALL 3 WORKING DAYS BEFORE YOU DIG
811
UTILITIES UNDERGROUND LOCATION CENTER
(ID,MT,ND,OR,WA)
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTOR(S) AT ALL TRENCHES IN ACCORDANCE WITH CURRENT OSHA STANDARDS
ELECTRIC - RED / TELCATV - ORANGE / SEWER - GREEN / PROPOSED - WHITE / GAS/OIL - YELLOW / WATER - BLUE / SURVEY - PINK

SHEET INDEX

APPROVED:
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

DWN BY	CHKD BY	DATE	NOTES
KAL	KAL	2-12-15	SUBMITTED TO CLIENT
KAL	KAL	3-09-15	ALTERED/ADDED LANDSCAPE WALLS
KAL	KAL	5-27-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	6-29-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	2-27-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	4-14-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	5-14-20	PER UPDATED ARBORIST REPORT

STAMP NOT VALID UNLESS SIGNED AND DATED

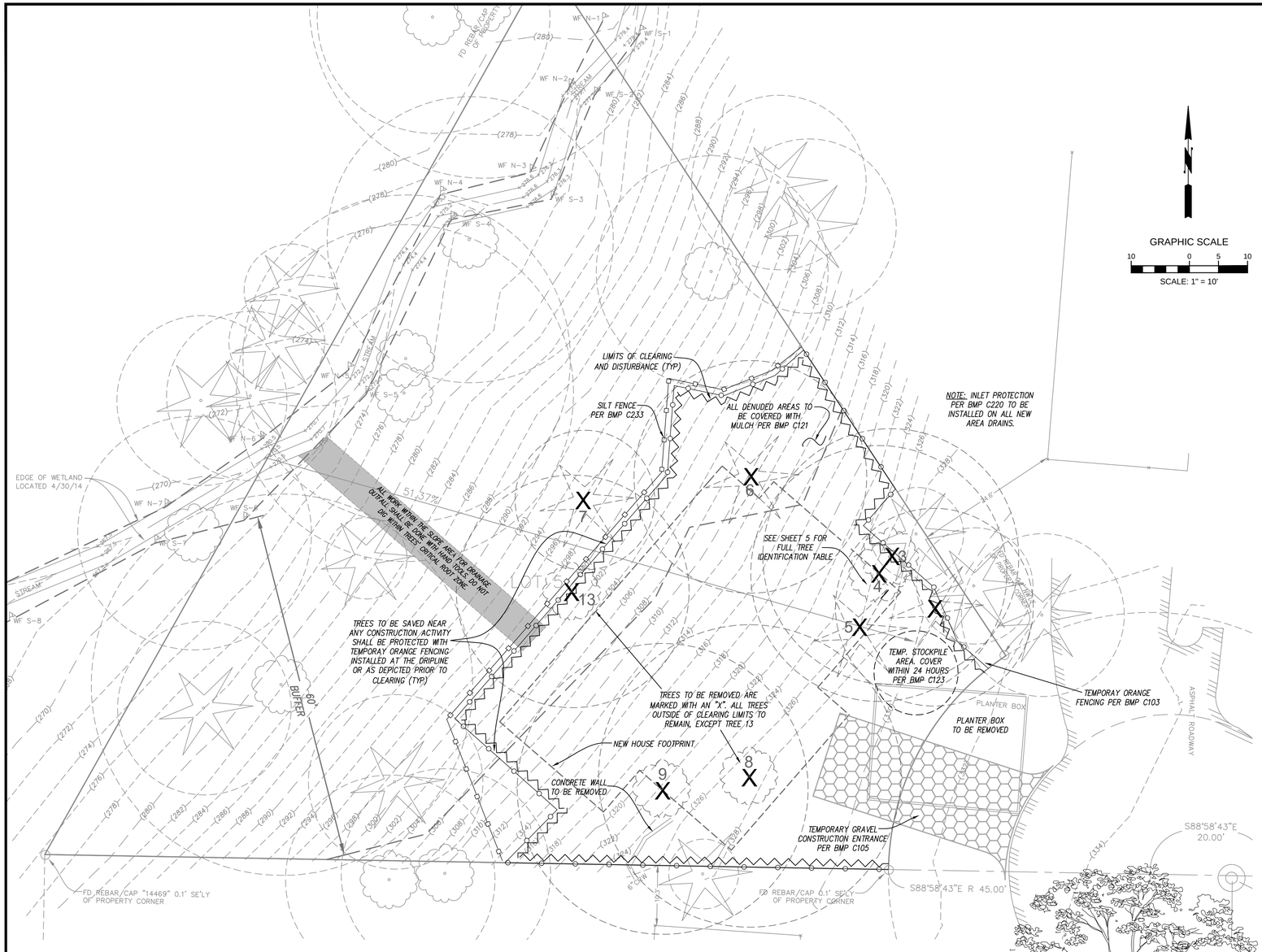
LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel (425) 821-5038 Fax (425) 821-5078

COVER SHEET
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

SHEET
1 of 5

JOB No.

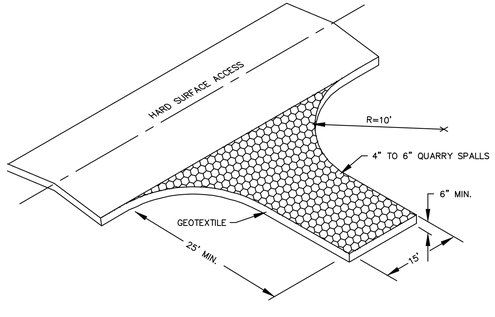


EROSION/SEDIMENTATION CONTROL NOTES

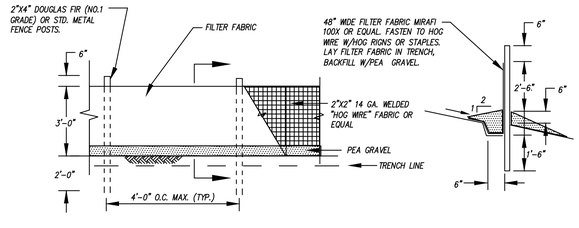
1. PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, EASEMENTS, SETBACKS, TREES AND DRAINAGE COURSES SHALL BE CLEARLY DEFINED AND MARKED IN THE FIELD TO PREVENT DAMAGE AND OFFSITE IMPACTS.
2. CONSTRUCTION VEHICLE ACCESS AND EXIT SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE. ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALLS OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENTS ONTO PUBLIC STREETS. WHEEL WASH OR TIRE BATHS SHALL BE LOCATED ON-SITE. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE PAVEMENT SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE PAVEMENT BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. PAVEMENT WASHING SHALL NOT OCCUR UNTIL ALL STORM DRAIN INLETS, LOCATED DOWNSTREAM OF THE WASHING AREA, HAVE BEEN PROTECTED BY PLACEMENT OF A FILTER CLOTH UNDER THE INLET GRATE.
3. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
4. PRIOR TO LEAVING THE SITE, STORMWATER RUNOFF SHALL PASS THROUGH APPROVED SEDIMENT BARRIERS OR FILTERS, DIKES, OR ANY OTHER APPROVED FACILITY INTENDED TO TRAP SEDIMENT. THESE SEDIMENT CONTROLLING MEASURES SHALL BE CONSTRUCTED AS THE FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY OTHER LAND DISTURBING ACTIVITY TAKES PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIMING INDICATED UNDER ITEM 5.
5. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY THE PLACEMENT OF SOD OR OTHER VEGETATION, PLASTIC COVERING, MULCHING, APPLICATION OF BASE ROCK WITHIN AREAS TO BE PAVED, OR SOME OTHER APPROVED MEANS, TO PROTECT THE SOIL FROM THE EROSIVE FORCES OF RAINDROP IMPACT AND FLOWING WATER. FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT. THE SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND THE POTENTIAL WATER QUALITY IMPACTS THAT THE STABILIZATION MEASURES MAY HAVE ON THE DOWNSTREAM WATERS. SOIL STOCKPILES SHALL BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES.
6. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION. REDUCE SLOPE RUNOFF VELOCITIES BY (1) REDUCING THE LENGTH OF CONTINUOUS SLOPES BY USING TERRACING AND DIVERSIONS, (2) REDUCING THE GRADE OF THE SLOPE, AND (3) ROUGHEN SLOPE SURFACE. CONTAIN DOWNSLOPE COLLECTED WATER IN PIPES OR PROTECTED CHANNELS.
7. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS.
8. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION. STABILIZATION, INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION AT ALL DISCHARGE POINTS, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES, SHALL BE PROVIDED.
9. ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF, MUST BE CONDUCTED UNDER COVER AND ON IMPERVIOUS SURFACES. THESE SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILLAGE INCIDENT. WHEEL WASH, OR TIRE BATH WASTEWATER, SHALL NOT BE DISCHARGED TO THE STORM DRAIN, OR ON-SITE STORMWATER TREATMENT SYSTEM.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.

CONSTRUCTION SEQUENCE:

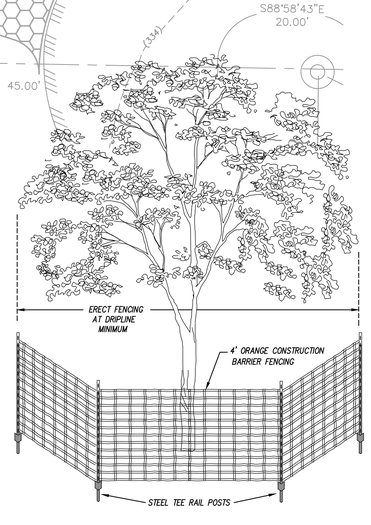
1. ATTEND PRE-CONSTRUCTION MEETING
2. FLAG CLEARING LIMITS
3. INSTALL ORANGE TREE BARRIER FENCING
4. INSPECTION BY CITY OF MERCER ISLAND INSPECTOR
5. EROSION CONTROL DEVICES AND RESOURCES TO COVER ALL SOIL, IN CASE OF EROSION RISK, ARE TO BE ON THE SITE AT ALL TIMES
6. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
7. CLEAR AND GRUB WITHIN CLEARING LIMITS
8. SITE GRADING
9. INSTALL UNDERGROUND UTILITIES
10. TEMPORARY COVER OR APPLY PERMANENT VEGETATION, WHICH EVER IS APPROPRIATE
11. FINISH GRADE
12. APPLY PERMANENT VEGETATION AND MULCH ALL DISTURBED AREAS
13. CLEAN-UP THE SITE. TEMPORARY EROSION CONTROL DEVICES MAY BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



FILTER FABRIC FENCING
N.T.S.



TREE PROTECTION DETAIL
N.T.S.

CALL 3 WORKING DAYS BEFORE YOU DIG
811
UTILITIES UNDERGROUND LOCATION CENTER
(ID,MT,ND,OR,WA)
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTOR(S) AT ALL TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS
ELECTRIC - RED · TELICATV - ORANGE · SEWER - GREEN · PROPOSED - WHITE · GAS/OIL - YELLOW · WATER - BLUE · SURVEY - PINK

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

DWN BY	CHKD BY	DATE	NOTES
KAL	KAL	2-12-15	SUBMITTED TO CLIENT
KAL	KAL	3-09-15	ALTERED/ADDED LANDSCAPE WALLS
KAL	KAL	5-27-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	6-29-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	2-27-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	4-14-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	5-14-20	PER UPDATED ARBORIST REPORT

STAMP NOT VALID UNLESS SIGNED AND DATED

LITCHFIELD ENGINEERING
12640 81ST AVENUE NE
Kirkland, WA 98034
Tel (425) 821-5035 Fax (425) 821-5726

T.E.S.C. PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

SHEET
2 of 5

JOB No.

GRADING NOTES:

1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY GEO DIMENSIONS, INC.
3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.
6. IT WILL BE THE PERMITEE'S RESPONSIBILITY TO SUCCESSFULLY CAP AND ABANDON ALL EXISTING UTILITIES WITHIN THE DEVELOPMENT IN ACCORDANCE TO THE GOVERNING UTILITY AGENCY.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

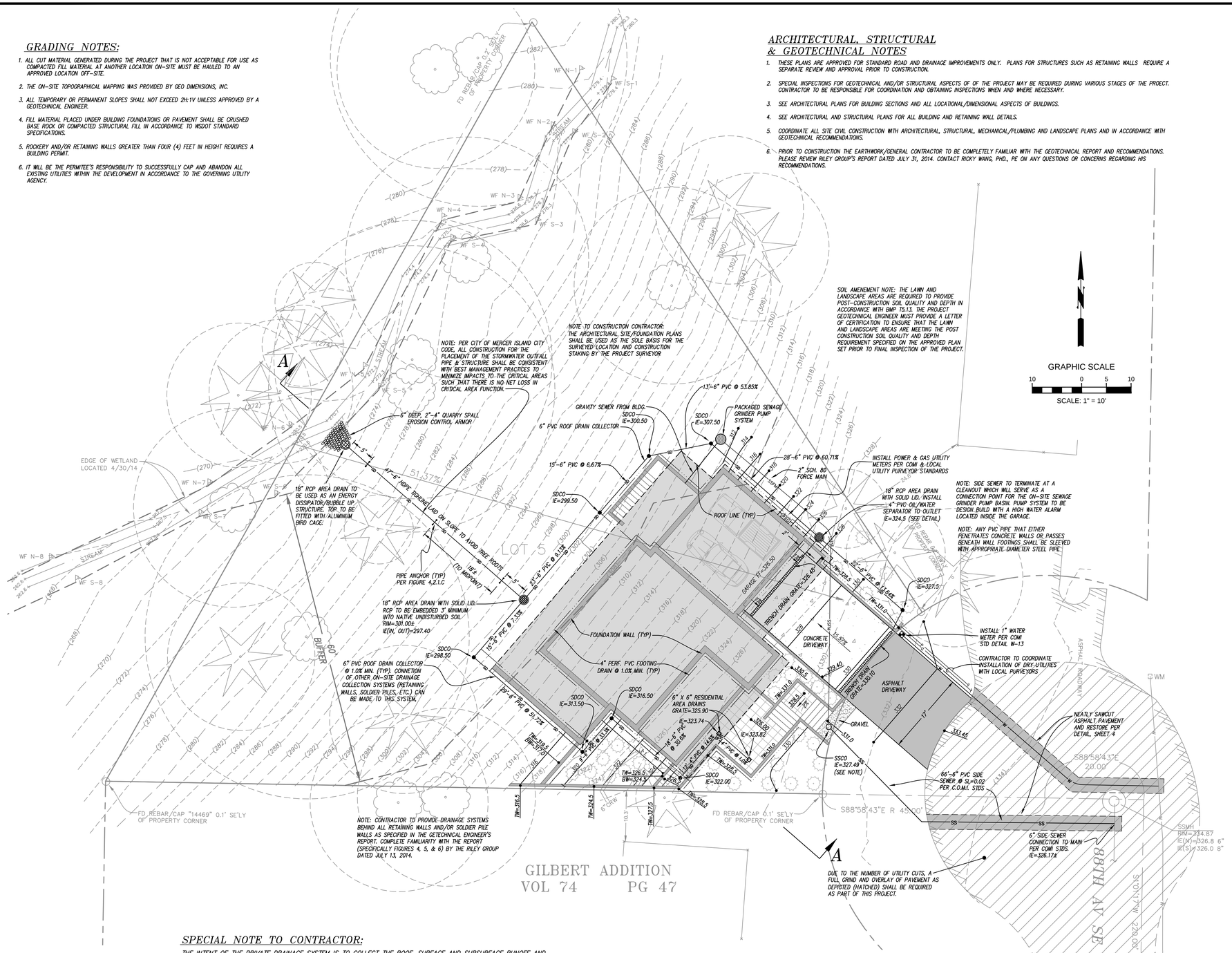
1. THESE PLANS ARE APPROVED FOR STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS RETAINING WALLS REQUIRE A SEPARATE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
3. SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCATIONAL/DIMENSIONAL ASPECTS OF BUILDINGS.
4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL BUILDING AND RETAINING WALL DETAILS.
5. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL/PLUMBING AND LANDSCAPE PLANS AND IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
6. PRIOR TO CONSTRUCTION THE EARTHWORK/GENERAL CONTRACTOR TO BE COMPLETELY FAMILIAR WITH THE GEOTECHNICAL REPORT AND RECOMMENDATIONS. PLEASE REVIEW RILEY GROUP'S REPORT DATED JULY 31, 2014. CONTACT RICKY WANG, PHD., PE ON ANY QUESTIONS OR CONCERNS REGARDING HIS RECOMMENDATIONS.

SITE IMPROVEMENT NOTES

1. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
2. THESE PLANS ARE APPROVED FOR GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ONLY. PLANS FOR STRUCTURES REQUIRE A SEPARATE REVIEW AND APPROVAL.
3. RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH CITY AND WSDOT STANDARD SPECIFICATIONS.
5. ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS.
6. THIS PLAN DOES NOT SHOW THE LOCATION OF ALL EXISTING UTILITIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
7. THE CONTRACTOR SHALL EXPOSE ALL EXISTING PIPING THAT WILL BE CONNECTED TO WITH NEW PIPING. DEPTH, LOCATION, AND CONDITION SHALL BE RELAYED TO THE ENGINEER IF CONDITIONS VARY SIGNIFICANTLY FROM WHAT IS DETAILED OR ANTICIPATED.
8. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS OF CITY STANDARDS. ALL CONSTRUCTION DEBRIS GENERATED DURING CONSTRUCTION TO BE REMOVED & DISPOSED OF AT AN APPROVED LOCATION OFF SITE.
9. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.

DRAINAGE GENERAL NOTES

1. BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT, OBTAINED ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS.
2. ALL STORM DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND PUBLIC WORKS PRE-APPROVED PLANS AND POLICIES AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, PREPARED BY WSDOT AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
3. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL, ALL CHANGES SHALL BE SUBMITTED TO THE CITY.
4. A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE CITY OF MERCER ISLAND DEPARTMENT OF PUBLIC WORKS FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
6. MINIMUM COVER OVER STORM DRAINAGE PIPES IN ROW OR VEHICULAR PATH SHALL BE 18 INCHES, UNLESS OTHER DESIGN IS APPROVED.
7. CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
8. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT.
10. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY CONSTRUCTION INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
11. THE UNDERGROUND UTILITY LOCATION SERVICE SHALL BE CONTACTED FOR FIELD LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE CONTACTED IF A UTILITY CONFLICT EXISTS. FOR UTILITY LOCATION IN KING COUNTY, CALL 811. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT UTILITY LOCATES ARE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
12. OPEN CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAY SHALL BE BACKFILLED ONLY WITH 5/8" MINUS CRUSHED ROCK AND MECHANICALLY COMPACTED (UNLESS OTHERWISE APPROVED BY THE CITY). CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW OR JACKHAMMER IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE A MINIMUM OF 1" THICKER THAN THE ORIGINAL ASPHALT WITH A MINIMUM THICKNESS OF 2".
13. ALL DAMAGES INCURRED TO PUBLIC AND/OR PRIVATE PROPERTY BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE CITY CONSTRUCTION INSPECTOR BEFORE PROJECT APPROVAL AND/OR THE RELEASE OF THE PROJECT'S PERFORMANCE BOND.
14. GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.



SPECIAL NOTE TO CONTRACTOR:

THE INTENT OF THE PRIVATE DRAINAGE SYSTEM IS TO COLLECT THE ROOF, SURFACE AND SUBSURFACE RUNOFF AND CONVEY IT SAFELY TO THE BASE OF THE SLOPE. THIS IS TO BE ACCOMPLISHED BY INSTALLING: 1) A PERFORATED FOOTING DRAIN; 2) A TIGHTLINE ROOF DRAIN CONVEYANCE SYSTEM; 3) A TIGHTLINE STORM DRAINAGE/SITE COLLECTOR AND CONVEYANCE SYSTEM; AND 4) A BASEMENT SLAB UNDERDRAIN SYSTEM. THE FOUR SYSTEMS ARE TO BE CONNECTED TO THE PROPOSED AREA DRAIN AND BE CONVEYED VIA A 6" WELDED HDPE PIPE TO THE BASE OF THE SLOPE FOR DISCHARGE THROUGH A ENERGY DISSIPATOR. ADDITIONAL AREA DRAINS OTHER THAN THOSE SHOWN TO CONTROL SURFACE WATER MAY BE REQUIRED PENDING FINAL SITE GRADING. GRADING CONTRACTOR TO LOCATE AS NECESSARY AND CONNECT TO THE SITE COLLECTOR SYSTEM. UNDER NO CIRCUMSTANCES SHALL SITE DRAINAGE BE CONNECTED TO THE FOOTING DRAINS. AREA/LANDSCAPE DRAIN RIMS SHALL BE ADJUSTED TO MATCH FINISH SITE GRADES. DRAINAGE SYSTEM CLEANOUTS SHALL BE PROVIDED WHERE REQUIRED BY CITY; WITH EXCEPTION TO THE AT-GRADE HDPE TIGHTLINE, MINIMUM PIPE COVER SHALL BE 18", AND DRAINAGE PIPE SHALL BE SDR 35 PVC MEETING ASTM D3034.

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

DWN BY	CHKD BY	DATE	NOTES
KAL	KAL	2-12-15	SUBMITTED TO CLIENT
KAL	KAL	3-09-15	ALTERED/ADDED LANDSCAPE WALLS
KAL	KAL	5-27-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	6-29-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	2-27-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	4-14-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	5-14-20	PER UPDATED ARBORIST REPORT

STAMP NOT VALID UNLESS SIGNED AND DATED

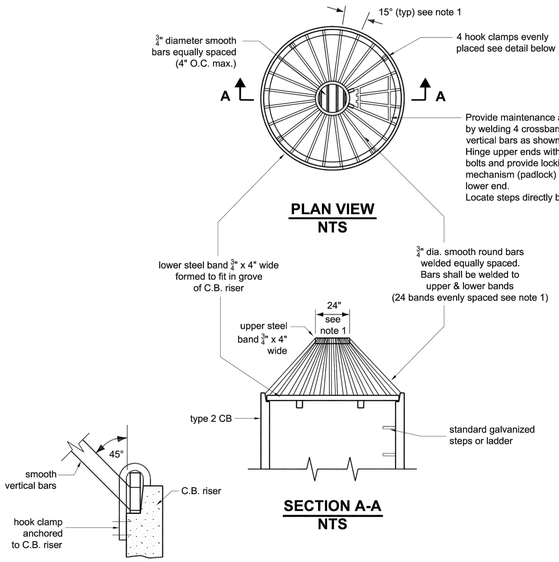
LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel (425) 821-5038 Fax (425) 821-5039

SITE IMPROVEMENT PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

SHEET
3 of 5

JOB No.



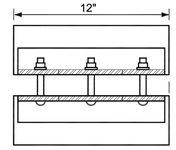
PLAN VIEW
NTS

SECTION A-A
NTS

DETAIL HOOK CLAMP
NTS

NOTES:

1. Dimensions are for illustration on 54" diameter CB. For different diameter CB's adjust to maintain 45° angle on "vertical" bars and 7" o.c. maximum spacing of bars around lower steel band.
2. Metal parts must be corrosion resistant; steel bars must be galvanized.
3. This debris barrier is also recommended for use on the inlet to roadway cross-culverts with high potential for debris collection (except on type 2 streams).
4. This debris barrier is for use outside of road right-of-way only. For debris cages within road right-of-way, see KCRS Drawing No. 7-028.



Smooth Coupling Band for Smooth Pipe

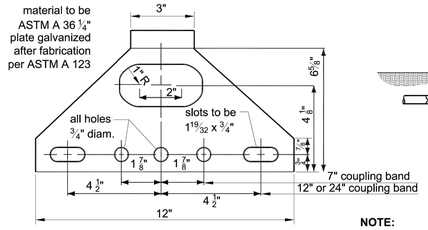
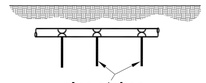
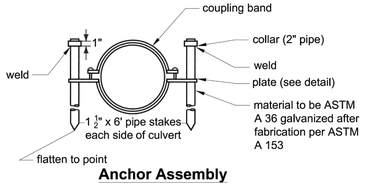


Plate Detail



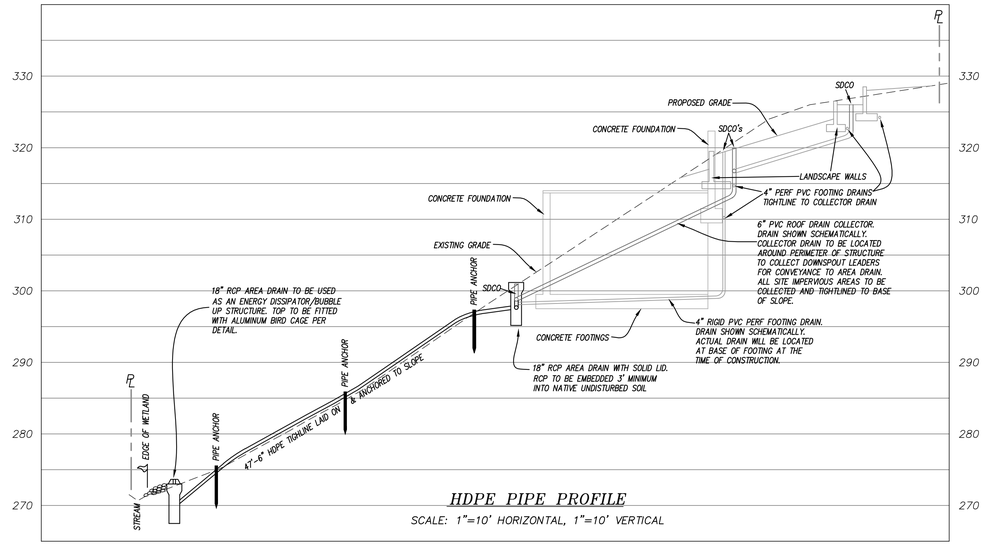
pipe stakes



Anchor Assembly Corrugated Metal Pipe

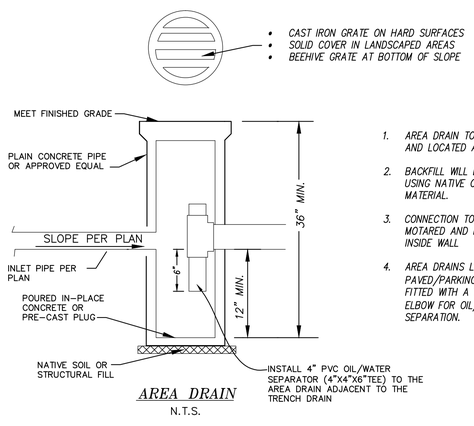
NOTE:

1. The smooth coupling band shall be used in combination with concrete pipe.
2. Concrete pipe without ball and spigot shall not be installed on grades in excess of 20%.
3. The first anchor shall be installed on the first section of the lower end of the pipe and remaining anchors evenly spaced throughout the installation.
4. If the pipe being installed has a manhole or catch basin on the lower end of the pipe, the first pipe anchor may be eliminated
5. When CMP is used, the anchors may be attached to the coupling bands used to join the pipe as long as the specified spacing is not exceeded.
6. All pipe anchors shall be securely installed before backfilling around the pipe.



HDPE PIPE PROFILE
SCALE: 1"=10' HORIZONTAL, 1"=10' VERTICAL

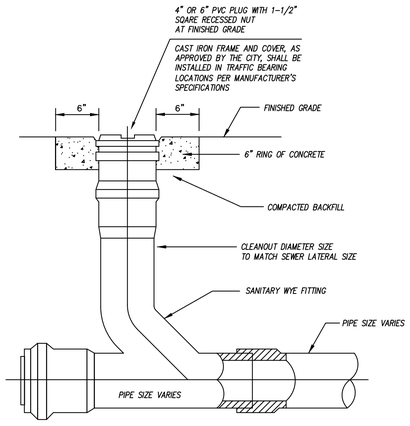
BIRD CAGE DETAIL
N.T.S.



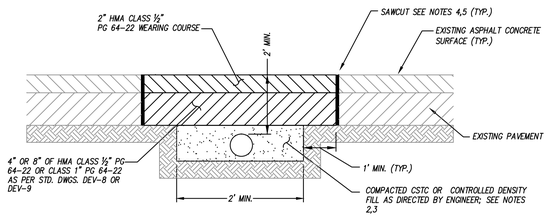
1. AREA DRAIN TO BE 18" (MIN) DIAM. AND LOCATED AT THE LOW POINTS
2. BACKFILL WILL BE COMPACTED USING NATIVE OR SELECTED MATERIAL.
3. CONNECTION TO DRAIN TO BE MOTARED AND MADE FLUSH WITH INSIDE WALL
4. AREA DRAINS LOCATED IN PAVED/PARKING AREAS TO BE FITTED WITH A TURNED DOWN ELBOW FOR OIL/WATER SEPARATION.

AREA DRAIN
N.T.S.

PIPE ANCHOR DETAILS
N.T.S.



CLEANOUT
N.T.S.



NOTES

1. ASPHALT CONCRETE MIX SHALL BE HMA CLASS ½" OR CLASS 1" PG 64-22.
2. ALL TRENCH BACKFILL SHALL BE CSTC OR CONTROLLED DENSITY FILL.
3. CONTROLLED DENSITY FILL SHALL MEET WSDOT STANDARDS AS STATED IN 2-09.3(1)E OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION MANUAL M41-10, CURRENT EDITION.
4. ALL SAW CUTS SHALL BE VERTICAL AND IN STRAIGHT LINES UNLESS OTHERWISE DIRECTED BY ENGINEER.
5. TACK ASPHALT FACES OF SAW CUTS AND SEAL SAW CUTS WITH PG 64-22 OIL.
6. HOT MIX ASPHALT SHALL BE A MINIMUM OF 6 INCHES THICK

ASPHALT PAVEMENT SAWCUT & RESTORATION
N.T.S.

APPROVED:
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

DWN BY	CHKD BY	DATE	NOTES
KAL	KAL	2-12-15	SUBMITTED TO CLIENT
KAL	KAL	5-27-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	6-29-15	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	2-27-20	PER CITY OF MERCER ISLAND COMMENTS

STAMP NOT VALID UNLESS SIGNED AND DATED

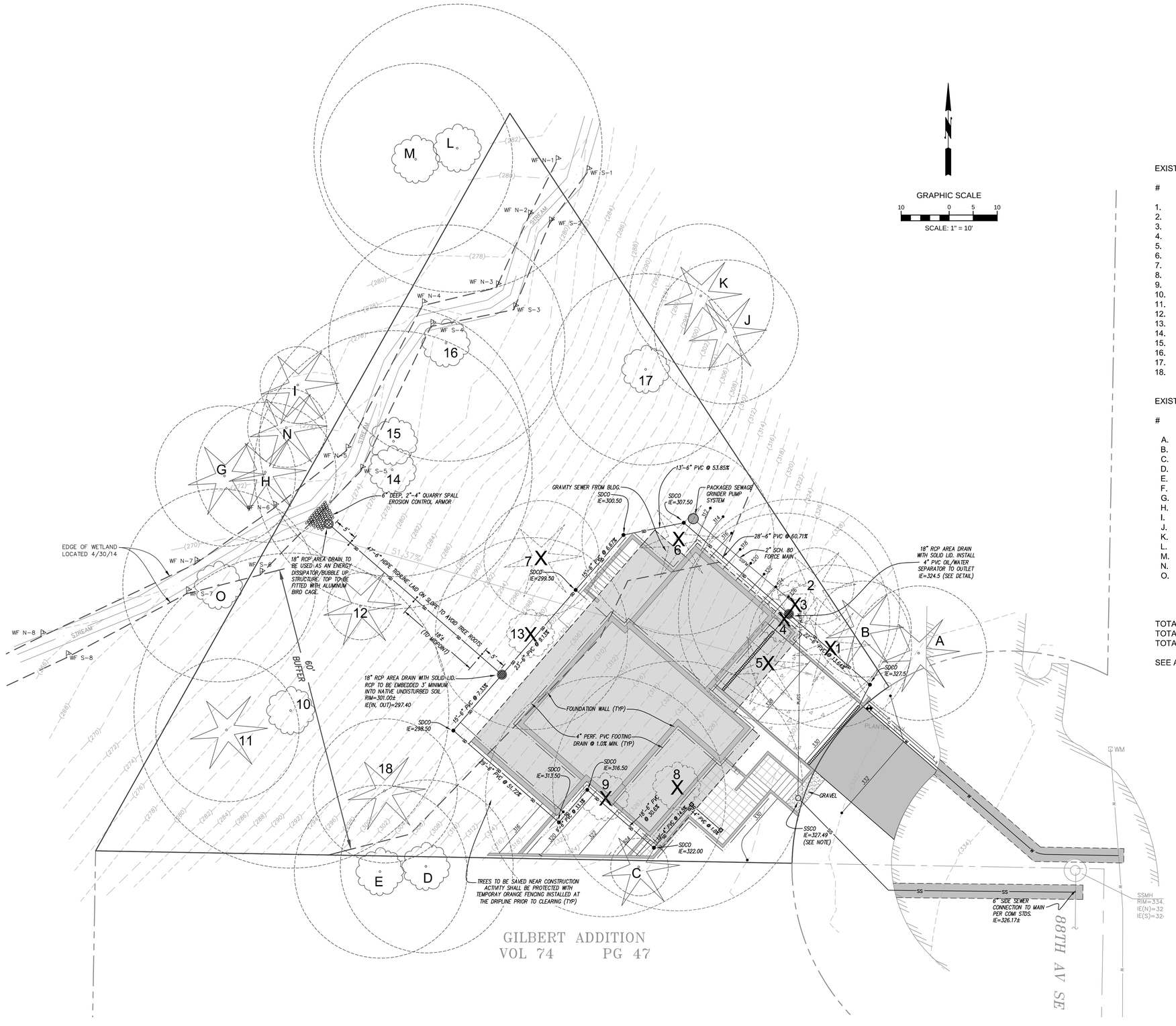
LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel (425) 821-3038 Fax (425) 821-5729

DRAINAGE PROFILE & DETAILS
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

SHEET
4 of **5**

JOB No.



EXISTING ONSITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/ RETAIN
1.	DOUGLAS FIR	12"	17'	REMOVE
2.	WESTERN RED CEDAR	8"	8'	RETAIN
3.	BIGLEAF MAPLE	21"	22' (TO NE)	REMOVE
4.	BIGLEAF MAPLE	18", 26"	22' (TO SW)	REMOVE
5.	WESTERN RED CEDAR	10"	10'	REMOVE
6.	DOUGLAS FIR	20"	20'	REMOVE
7.	WESTERN HEMLOCK	25"	15'	REMOVE
8.	BIGLEAF MAPLE	27"	26'	REMOVE
9.	BIGLEAF MAPLE	40"	25'	REMOVE
10.	BIGLEAF MAPLE	41"	40'	RETAIN
11.	WESTERN RED CEDAR	14"	14'	RETAIN
12.	WESTERN HEMLOCK	8"	10'	RETAIN
13.	RED ALDER	27"	20'	REMOVE
14.	BIGLEAF MAPLE	22"	30' (SW)	RETAIN
15.	BIGLEAF MAPLE	34"	30'	RETAIN
16.	BIGLEAF MAPLE	23"	25'	RETAIN
17.	BIGLEAF MAPLE	14, 6, 6, 4	20'	RETAIN
18.	DOUGLAS FIR	30"	15'	RETAIN

EXISTING OFF SITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/ RETAIN
A.	DOUGLAS FIR	16"	14'	RETAIN
B.	DEODAR CEDAR	9"	10'	RETAIN
C.	LEYLAND CYPRESS	12"	6'	RETAIN
D.	BIGLEAF MAPLE	14"	18'	RETAIN
E.	BIGLEAF MAPLE	18", 10"	18'	RETAIN
F.	NOT USED			
G.	WESTERN HEMLOCK	38"	15'	RETAIN
H.	WESTERN HEMLOCK	26"	15'	RETAIN
I.	WESTERN HEMLOCK	10"	12'	RETAIN
J.	WESTERN RED CEDAR	24"	15'	RETAIN
K.	DOUGLAS FIR	8"	15'	RETAIN
L.	BIGLEAF MAPLE	48"	30'	RETAIN
M.	BIGLEAF MAPLE	18"	20'	RETAIN
N.	WESTERN HEMLOCK	7"	10'	RETAIN
O.	BIGLEAF MAPLE	27", 33"	20'	RETAIN

TOTAL ON SITE TREES TO BE REMOVED : 9
TOTAL ON SITE TREES TO REMAIN : 9
TOTAL OFF SITE TREES TO BE REMOVED : 0

SEE ARBORIST REPORT FOR MORE INFORMATION.

LEGEND

DECIDUOUS CONIFEROUS

EXISTING TREES TO REMAIN

Z 19

EXISTING TREES TO BE REMOVED DRIPLINE

27 19

STAMP NOT VALID UNLESS SIGNED AND DATED

DWN BY	CHKD BY	DATE	NOTES
KAL	KAL	5-27-15	NEW SHT 5, CONSOLIDATED TREE & SITE IMP. PLAN
KAL	KAL	6-29-15	PER CITY COMMENTS
KAL	KAL	2-27-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	4-14-20	PER CITY OF MERCER ISLAND COMMENTS
KAL	KAL	5-14-20	PER UPDATED ARBORIST REPORT

LITCHFIELD ENGINEERING
12540 81ST AVENUE NE
Kirkland, WA 98034
Tel (425) 821-5036 Fax (425) 821-5730

CONSOLIDATED TREE & SITE IMPROVEMENT PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

SHEET
5 of 5

JOB No.

NOTE: SEE A1.02 FOR TREE INFORMATION.

A1 SITE PLAN
1" = 10'-0"

SITE KEY NOTES

1. COURT YARD W/ PERMEABLE PAVERS. SEE DETAIL A5/A1.01
2. STEPS W/ PERMEABLE PAVERS
3. SCORED CONC. DRIVEWAY @ 20% SLOPE MAX.
4. CONCRETE PLANTER. SEE RETAINING WALL DETAILS ON 6&10/S3.2

SITE NOTES

DEMOLITION NOTES:
1. DEMOLISH EXISTING RAISED PLANTER BED AND ALL TREES IDENTIFIED AS "TO BE REMOVED" ON SHEET A1.02.

DESIGN AND CONSTRUCTION CRITERIA FOR PAVER BLOCKS:

1. GENERAL: INSTALLATION MUST BE IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.

2. SUB-GRADE: COMPACT THE SUB-GRADE TO THE MINIMUM NECESSARY FOR STRUCTURAL STABILITY. USE STATIC, DUAL WHEEL, SMALL MECHANICAL ROLLERS OR PLATE VIBRATION MACHINES FOR COMPACTION. DO NOT ALLOW HEAVY COMPACTION DUE TO HEAVY EQUIPMENT OPERATION.

3. GEO-TEXTILE: GEO-TEXTILE FABRIC SHALL BE PLACED BENEATH THE RESERVOIR LAYER IN AREAS WHERE SOIL REMAINS SATURATED PART OF THE YEAR, WHERE THERE IS SOIL FREEZE AND THAW, OR OVER CLAY AND MOIST SILTY SUB-GRADE SOILS. THE GEO-TEXTILE FABRIC SHOULD PASS WATER AT A GREATER RATE THAN THE SUB-GRADE SOILS.

4. UNDER-DRAIN: PROVIDE AN UNDER-DRAIN PIPE WHEN SUB-GRADE SOILS ARE POORLY DRAINING OR SOILS REMAIN SATURATED PART OF THE YEAR.

5. AGGREGATE MATERIALS (STONE FILL, LEVELING COURSE, AND BASE / SUB-BASE RESERVOIR LAYER): USED CRUSHED AGGREGATE. CLEAN AND WASHED. NO FINES. "OPEN GRADED" ROCK CONTAINING ONLY A SMALL PERCENTAGE OF AGGREGATE IN THE SMALL RANGE. DO NOT USE ROUND ROCK.
- STONE FILL / LEVELING COURSE - ASTM NO. 8 CRUSHED AGGREGATE. MINIMUM 1" TO 2" THICKNESS.
- RESERVOIR COURSE - ASTM NO. 57 CRUSHED AGGREGATE. MINIMUM 6" TO 12" THICKNESS DEPENDING ON PERMEABILITY OF THE SUB-GRADE SOILS

6. LIMITATIONS: THE DESIGN SHALL HAVE NO SURFACE DRAINAGE ON TO THE PAVERS FROM OTHER SURFACES. IF SURFACE DRAINAGE COMES FROM MINOR OR INCIDENTAL PERVIOUS AREAS, THOSE AREAS MUST BE FULLY STABILIZED. SLOPE ADJACENT IMPERVIOUS SURFACES AWAY FROM THE PERMEABLE PAVEMENT TO THE MAXIMUM EXTENT PRACTICABLE. MAXIMUM INSTALLED SLOPE IS GENERALLY 5%.

7. PROTECTION: AFTER WORK IS COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK FROM SEDIMENT DEPOSITION AND DAMAGE DUE TO SUBSEQUENT CONSTRUCTION ACTIVITY ON THE SITE.

8. IMPROPER INSTALLATION: MAY RESULT IN LOSS OF IMPERVIOUS SURFACE EXEMPTION OR MAY REQUIRE RE-CONSTRUCTION OF THE PAVING SYSTEM.

9. INSPECTIONS: THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE SUB-GRADE PREPARATION PRIOR TO PLACEMENT OF BASE MATERIAL AND FOR A SUBSEQUENT INSPECTION OF THE BASE MATERIAL PLACEMENT PRIOR TO INSTALLATION OF BLOCKS.

10. MAINTENANCE: HOMEOWNERS MUST ADEQUATELY MAINTAIN THEIR PERMEABLE BLOCK PAVEMENTS. OVER TIME, THE SPACE BETWEEN PAVERS WILL TEND TO CLOG. CONDUCT PERIODIC VISUAL INSPECTIONS TO DETERMINE IF SURFACES ARE CLOGGED WITH VEGETATION OR FINE GRAIN SOILS. CLOGGED SURFACES SHOULD BE CORRECTED IMMEDIATELY. SURFACES SHOULD BE SWEPT WITH A HIGH EFFICIENCY OR VACUUM SWEEPER TWICE PER YEAR; PREFERABLY ONCE IN THE AUTUMN AFTER LEAF FALL, AND AGAIN IN EARLY SPRING. AS LONG AS ANNUAL INFILTRATION RATE TESTING DEMONSTRATES THAT A RATE OF 5 INCHES PER HOUR OR GREATER IS BEING MAINTAINED, THE SWEEPING FREQUENCY CAN BE REDUCED TO ONCE PER YEAR.

11. ADDITIONAL REQUIREMENTS: INCLUDE THE FOLLOWING:
- GAP BETWEEN PAVERS SHALL BE FILLED WITH STONE FILL (ASTM NO. 8) OR OTHER FREE DRAINING MATERIAL.
- GAP CANNOT BE PLANTED IF USING TOPSOIL OR OTHER PLANTING MEDIA THAT IMPEDES THE FREE FLOW OF WATER BETWEEN THE PAVERS UNLESS APPROVED BY THE CITY ENGINEER.
- PAVERS SHALL BE UNDERLAIN BY AT LEAST 6" RESERVOIR COURSE (ASTM NO. 57) AND 2" LEVELING COURSE STONE FILL (ASTM NO. 8) IN ACCORDANCE WITH THE CITY OF MERCER ISLAND TYPICAL CROSS SECTION FOR PERVIOUS CONCRETE BLOCK OR "PAVER" SYSTEMS

LOT COVERAGE CALCULATION

NET LOT AREA: 13,746 SF

MAIN STRUCTURE ROOF AREA:	2,276.59 SF
ACCESSORY BUILDING ROOF AREA:	0 SF
PROPOSED DRIVEWAY:	443.68 SF
TOTAL EXISTING IMPERVIOUS SURFACE:	0 SF
TOTAL REMOVED:	0 SF
TOTAL NEW IMPERVIOUS SURFACE:	2,720.27 SF
TOTAL LOT COVERAGE:	**2,720.27 SF**

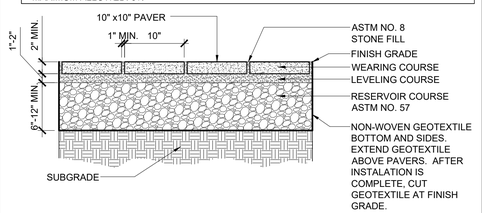
% OF LOT COVERAGE: 2,720.27 / 13,746 = 19.78%
MAXIMUM ALLOWED: 20%

HARDSCAPE CALCULATION

NET LOT AREA: 13,746 SF

UNCOVERED DECK:	70 SF
WALKWAYS:	286.12 SF
RETAINING WALLS:	95.19 SF
TOTAL HARDSCAPE COVERAGE:	451.31 SF

% OF HARDSCAPE COVERAGE: 451.31 / 13,746 = 3%
MAXIMUM ALLOWED: 9%



A5 PERVIOUS CONCRETE PAVER DETAIL
1" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

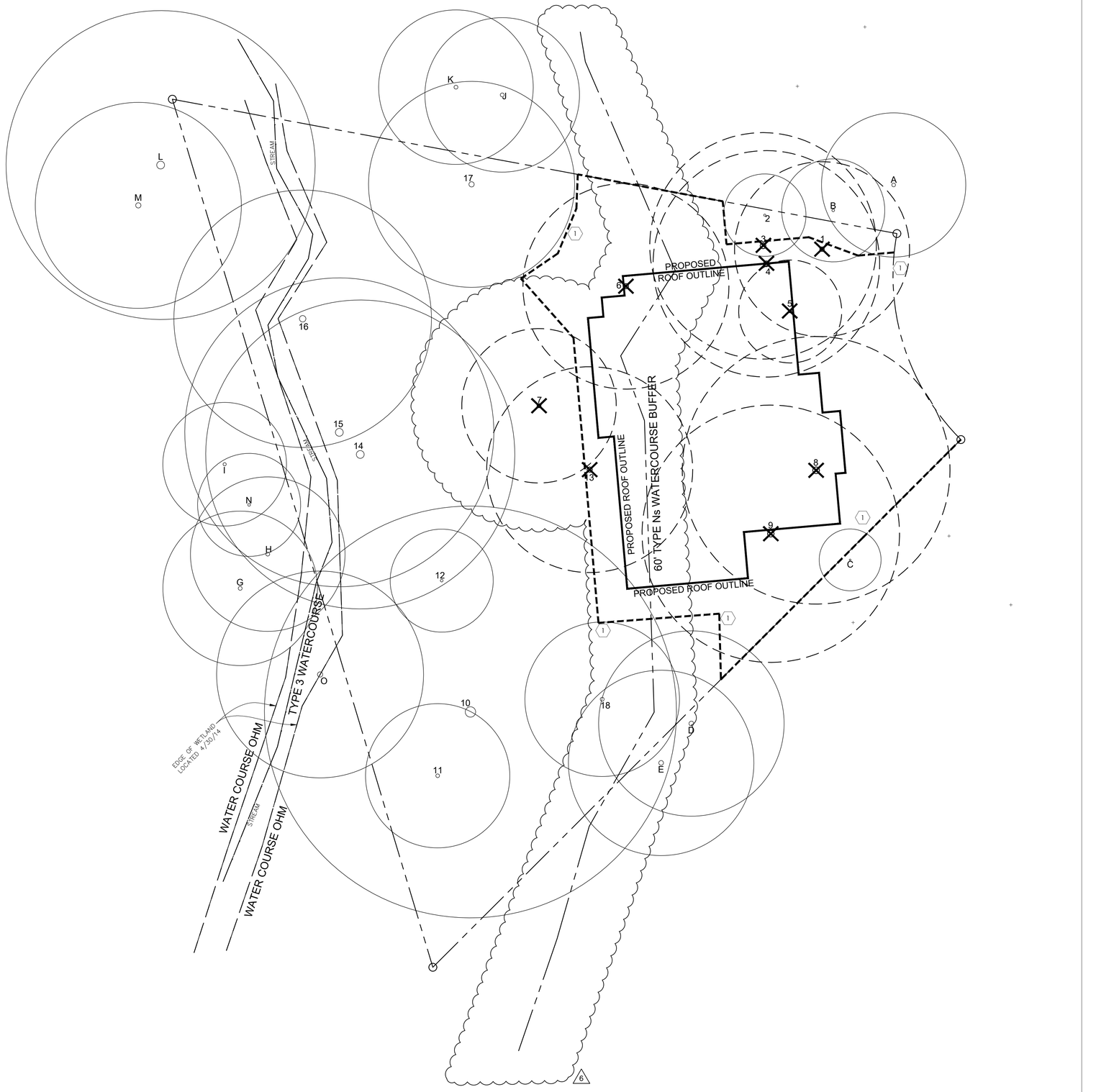
SHEET TITLE:

SITE PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-1.01



A1 TREE PLAN
1" = 10'-0"

N

TREE PLAN KEY NOTES

1 TREE PROTECTION FENCING AT DRIP LINE

TREE INVENTORY (SEE ARBORIST REPORT)

EXISTING ONSITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/ RETAIN
1.	DOUGLAS FIR	12"	17'	REMOVE
2.	WESTERN RED CEDAR	8"	8'	RETAIN
3.	BIGLEAF MAPLE	21"	22' (TO NE)	REMOVE
4.	BIGLEAF MAPLE	18", 26"	22' (TO SW)	REMOVE
5.	WESTERN RED CEDAR	10"	10'	REMOVE
6.	DOUGLAS FIR	20"	20'	REMOVE
7.	WESTERN HEMLOCK	25"	15'	REMOVE
8.	BIGLEAF MAPLE	27"	26'	REMOVE
9.	BIGLEAF MAPLE	40"	25'	REMOVE
10.	BIGLEAF MAPLE	41"	40'	RETAIN
11.	WESTERN RED CEDAR	14"	14'	RETAIN
12.	WESTERN HEMLOCK	8"	10'	RETAIN
13.	RED ALDER	27"	20'	REMOVE
14.	BIGLEAF MAPLE	22"	30' (SW)	RETAIN
15.	BIGLEAF MAPLE	34"	30'	RETAIN
16.	BIGLEAF MAPLE	23"	25'	RETAIN
17.	BIGLEAF MAPLE	14, 6, 6, 4	20'	RETAIN
18.	DOUGLAS FIR	30"	15'	RETAIN

EXISTING OFF SITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/ RETAIN
A.	DOUGLAS FIR	16"	14'	RETAIN
B.	DEODAR CEDAR	9"	10'	RETAIN
C.	LEYLAND CYPRESS	12"	6'	RETAIN
D.	BIGLEAF MAPLE	14"	18'	RETAIN
E.	BIGLEAF MAPLE	18", 10"	18'	RETAIN
F.	NOT USED			
G.	WESTERN HEMLOCK	38"	15'	RETAIN
H.	WESTERN HEMLOCK	26"	15'	RETAIN
I.	WESTERN HEMLOCK	10"	12'	RETAIN
J.	WESTERN RED CEDAR	24"	15'	RETAIN
K.	DOUGLAS FIR	8"	15'	RETAIN
L.	BIGLEAF MAPLE	48"	30'	RETAIN
M.	BIGLEAF MAPLE	18"	20'	RETAIN
N.	WESTERN HEMLOCK	7"	10'	RETAIN
O.	BIGLEAF MAPLE	27", 33"	20'	RETAIN

TOTAL ON SITE TREES TO BE REMOVED : 9
TOTAL ON SITE TREES TO REMAIN : 9
TOTAL OFF SITE TREES TO BE REMOVED : 0

SEE ARBORIST REPORT FOR MORE INFORMATION.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

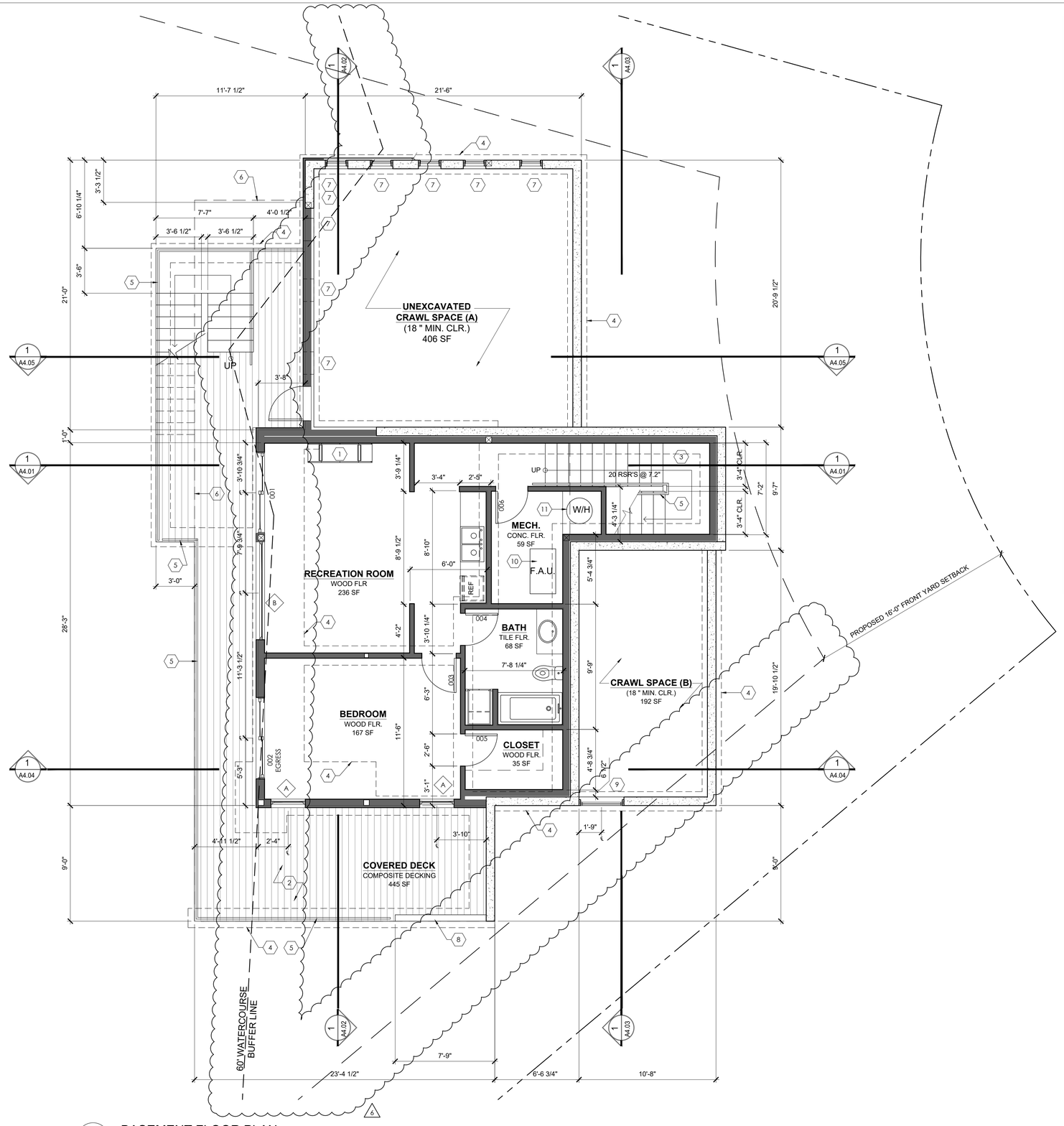
SHEET TITLE:

TREE PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-1.02



A1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

KEY NOTES

1. DIRECT VENT GAS FIREPLACE
2. COVERED WOOD DECK
3. CLOSED TREAD WOOD STAIR. 11" MIN. TREAD WIDTH & 7.75" MIN. RISER HEIGHT.
4. CONC. FOOTING BELOW
5. CABLE RAIL @ 36" AFF. CABLE SPACING AT 3" MAX. OC.
6. FLOOR ABOVE
7. CRAWL SPACE VENT OPENING SEE CRAWL SPACE VENITLATION CALCULATIONS ON THIS SHEET
8. PARTIAL HEIGHT CONCRETE WALL @ 36" ABOVE FINISH DECK.
9. 32"x20" CRAWL SPACE VENTING AND ACCESS
10. FURNACE / FORCED AIR UNIT W/ INTEGRATED WHOLE HOUSE VENTILATION SYSTEM . SEE VENTILATION NOTES ON G0.02
11. WATER HEATER

CRAWL SPACE VENTILATION

CRAWL SPACE AREA:

SPACE A = 406 SF = 58,443 SQ. IN.
REQUIRED VENTING @ $\frac{1}{50}$ = 1,167 SQ. IN.

PROVIDED VENTING (9) VENTS @ 144 SQ.IN. = 1,296 SQ. IN.

CRAWL SPACE B = 192 SF = 27,660 SQ. IN.
REQUIRED VENTING @ $\frac{1}{50}$ = 553 SQ. IN.

PROVIDED VENTING (1) VENT @ 36" x 24" = 864 SQ. IN.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

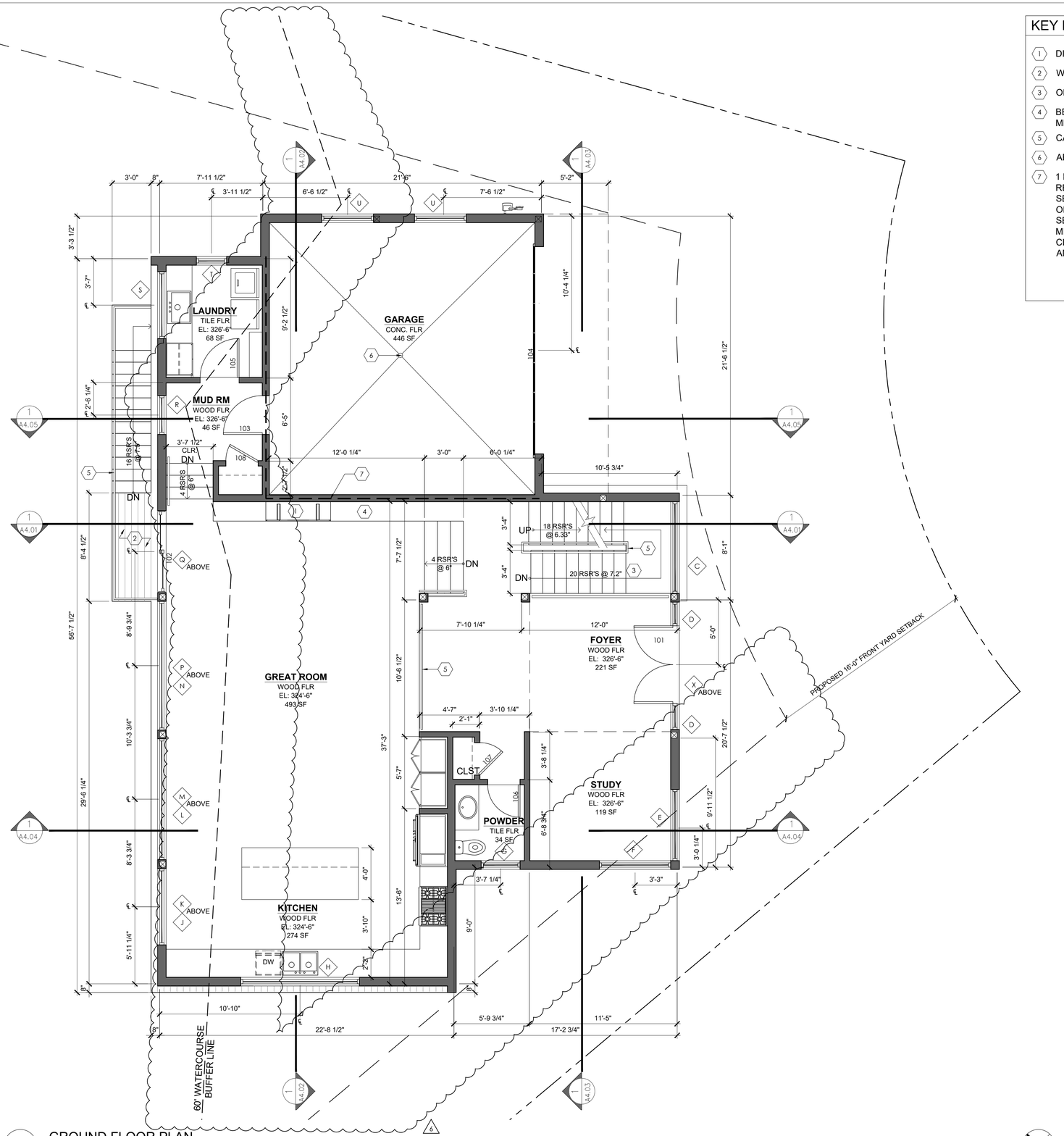
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

BASEMENT FLOOR PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-2.01



A1 GROUND FLOOR PLAN

1/4" = 1'-0"

N

KEY NOTES

1. DIRECT VENT GAS FIREPLACE
2. WOOD DECK
3. OPEN TREAD WOOD STAIR
4. BENCH / SHELVING/ CABINETRY FOR BOOKS, TV & OTHER MEDIA EQUIPTMENT.
5. CABLE RAIL @ 36" AFF. CABLE SPACING AT 3" MAX. OC.
6. AREA DRAIN
7. 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE AND (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. DOORS IN SEPARATION WALL ASSEMBLY TO BE MIN. 1-3/8" THICK, 20 MIN. FIRE RATED, SOLID CORE, WOOD DOORS WITH SELF CLOSING HARDWARE. SEE SECTIONS ON SHEETS A4.02 AND A4.05.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

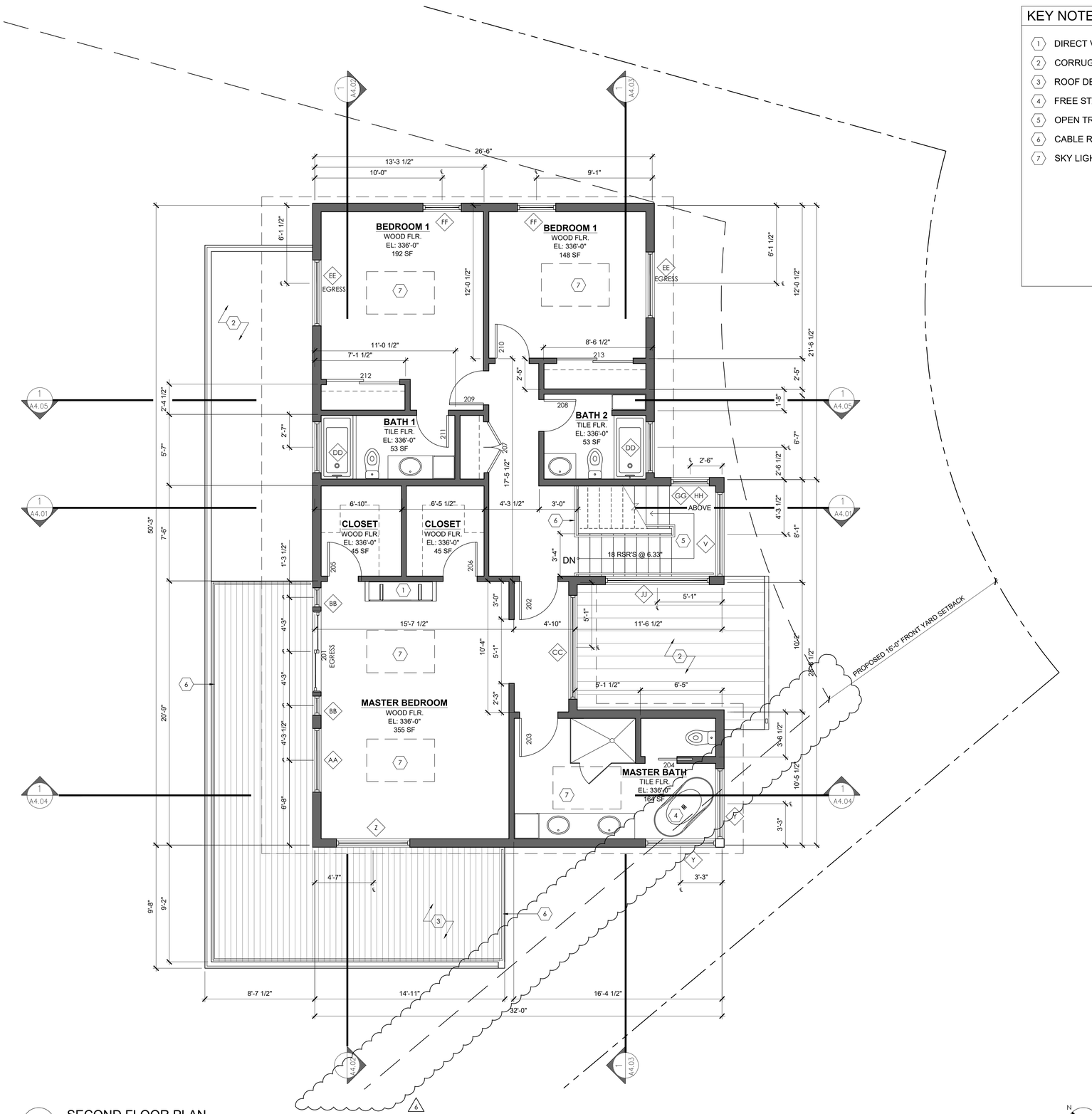
SHEET TITLE:

GROUND FLOOR PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-2.02



A1 SECOND FLOOR PLAN
1/4" = 1'-0"

KEY NOTES

1. DIRECT VENT GAS FIREPLACE
2. CORRUGATED METAL ROOF
3. ROOF DECK OVER PVC WRB
4. FREE STANDING BATHTUB
5. OPEN TREAD WOOD STAIR
6. CABLE RAIL @ 36" AFF. CABLES @ 3" MAX. OC.
7. SKY LIGHT ABOVE

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

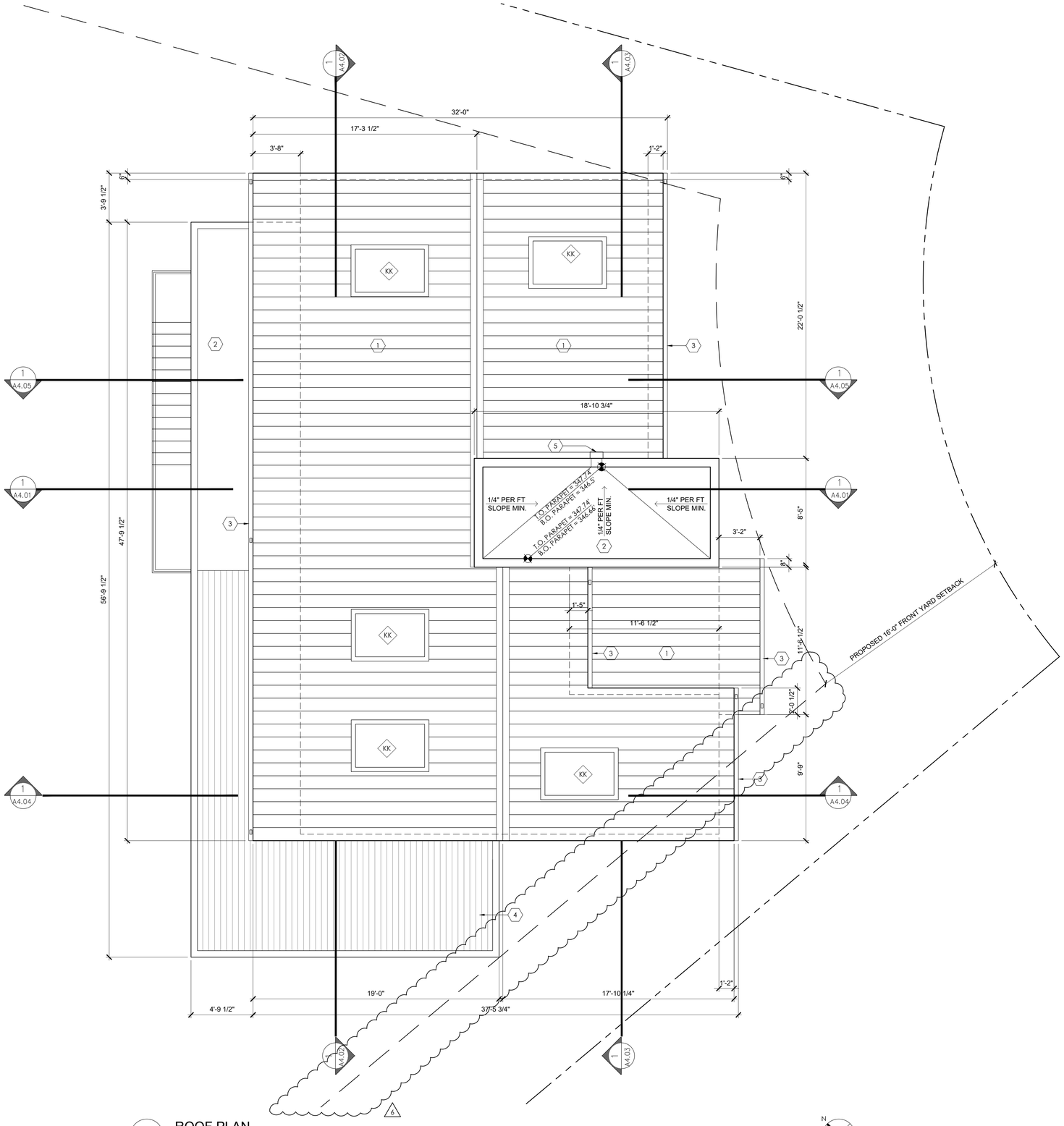
SHEET TITLE:

SECOND FLOOR PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

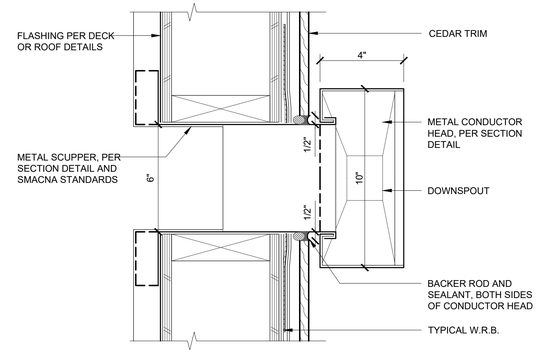
A-2.03



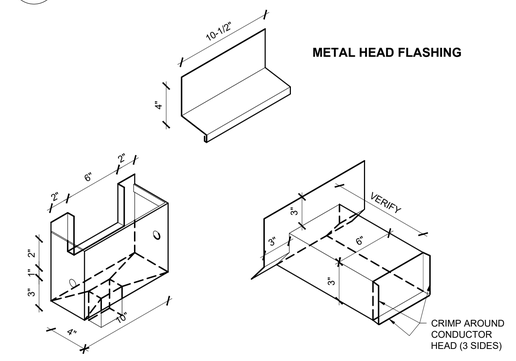
A1 ROOF PLAN
1/4" = 1'-0"

KEY NOTES

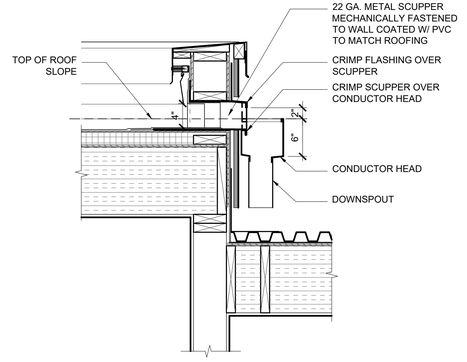
1. CORRUGATED METAL ROOF
2. PVC PARAPET ROOF
3. METAL GUTTER
4. ROOF DECK OVER PVC WRB
5. SCUPPER W/ INTEGRATED OVERFLOW & DOWN SPOUT. SEE DETAIL A5, B5 AND C5 ON A2.04.



C5 ROOF SCUPPER PLAN ENLARGED PLAN
1" = 1'-0"



B5 ROOF SCUPPER FLASHING
1" = 1'-0"



A5 SCUPPER SECTION DETAIL
1= 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

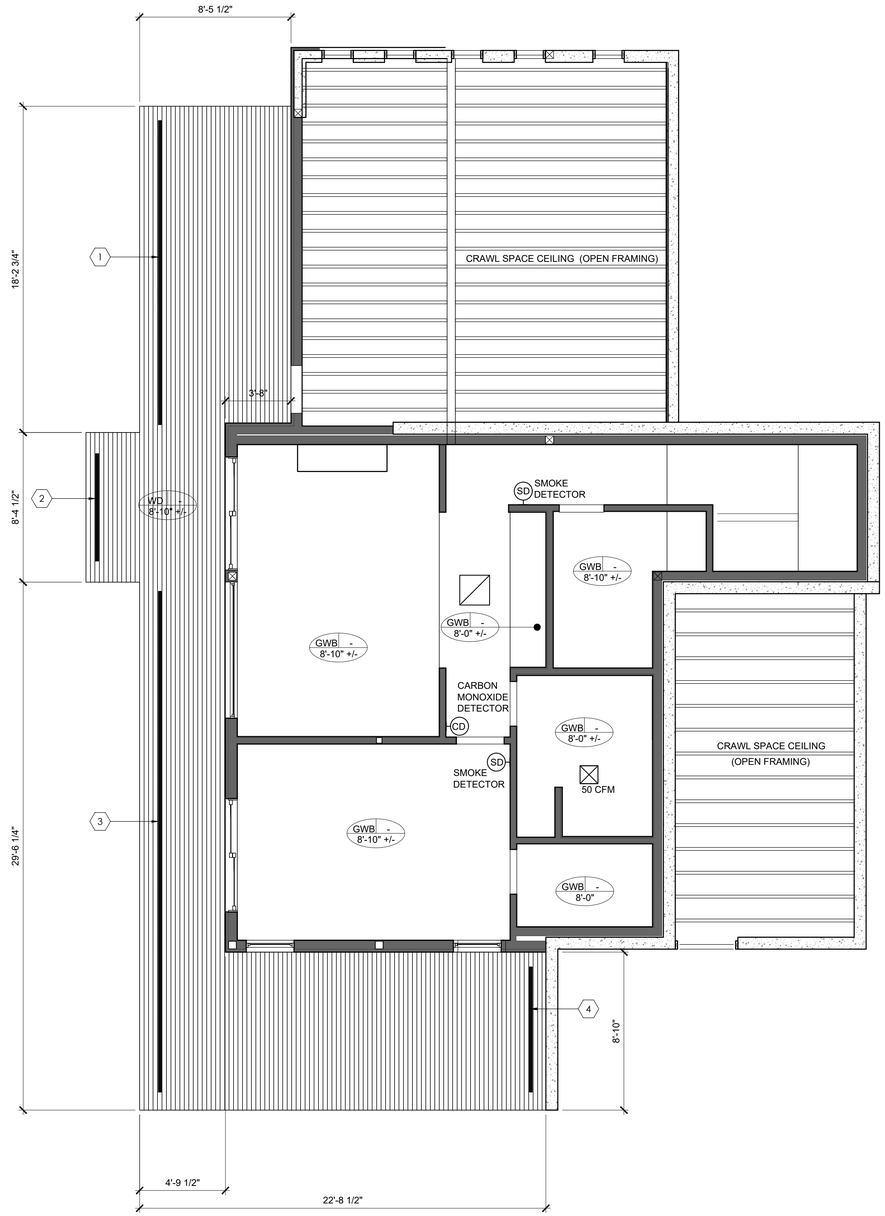
SHEET TITLE:

ROOF PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-2.04



A1 BASEMENT REFLECTED CEILING PLAN
1/4" = 1'-0"

N

KEY NOTES

1. 2" X 17'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
2. 2" X 6'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
3. 2" X 28'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
4. 2" X 7'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.

REQUIRED SOFFIT VENTILATION

REQUIRED VENTILATION: 1 SQ IN. PER 150 SQ IN. OF SOFFIT AREA.

SOFFIT AREA: 490 SF = 70560 SQ. IN.

70560 SQ. IN. / 150 SQ. IN. = **470 SQ. IN OF VENTILATION REQUIRED**

VENTING METHOD:
2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).

REQUIRED LINEAR FEET OF STRIP VENTING :
470 SQ. IN. / 18 SQ. IN. = 26 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

PROVIDED VENTING:

VENTSTRIP 1 = 17 LINEAR FEET = 306 SQ. INCHES

VENTSTRIP 2 = 6 LINEAR FEET = 108 SQ. INCHES

VENTSTRIP 3 = 28 LINEAR FEET = 504 SQ. INCHES

VENTSTRIP 4 = 7 LINEAR FEET = 126 SQ. INCHES

TOTAL VENTING PROVIDED = 58 LINEAR FEET = 870 SQ IN.

studio19 architects

207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

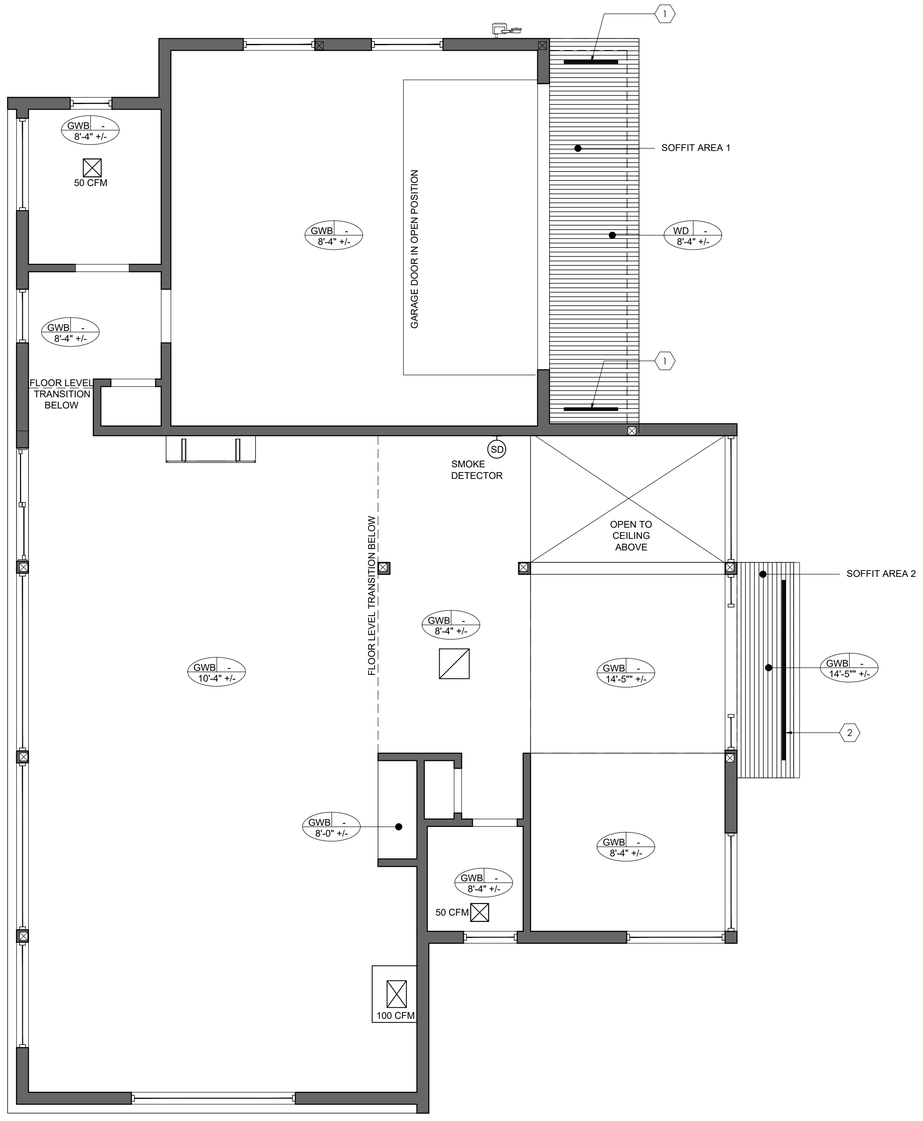
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

BASEMENT
REFLECTED CEILING PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-2.05



A1 GROUND FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

N

KEY NOTES

1 2" X 3'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.

2 2" X 10'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.

REQUIRED SOFFIT VENTILATION

REQUIRED VENTILATION: 1 SQ IN. PER 150 SQ IN. OF SOFFIT AREA.

SOFFIT AREA 1:

SOFFIT AREA: 90 SF = 12960 SQ. IN.

12960 SQ. IN. / 150 SQ. IN. = **87 SQ. IN OF VENTILATION REQUIRED**

VENTING METHOD:
2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).

REQUIRED LINEAR FEET OF STRIP VENTING :
87 SQ. IN. / 18 SQ. IN. = 5 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

PROVIDED VENTING:

VENTSTRIP 1(x2) = 6 LINEAR FEET = 108 SQ. INCHES

TOTAL VENTING PROVIDED = 6 LINEAR FEET = 108 SQ IN.

SOFFIT AREA 2:

SOFFIT AREA: 38 SF = 5472 SQ. IN.

5472 SQ. IN. / 150 SQ. IN. = **37 SQ. IN OF VENTILATION REQUIRED**

VENTING METHOD:
2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).

REQUIRED LINEAR FEET OF STRIP VENTING :
37 SQ. IN. / 18 SQ. IN. = 2 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

PROVIDED VENTING:

VENTSTRIP 2 = 10 LINEAR FEET = 180 SQ. INCHES

TOTAL VENTING PROVIDED = 10 LINEAR FEET = 180 SQ IN.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

GROUND FLOOR
REFLECTED CEILING PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-2.06

A1 SECOND FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

N

studio19 architects

207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

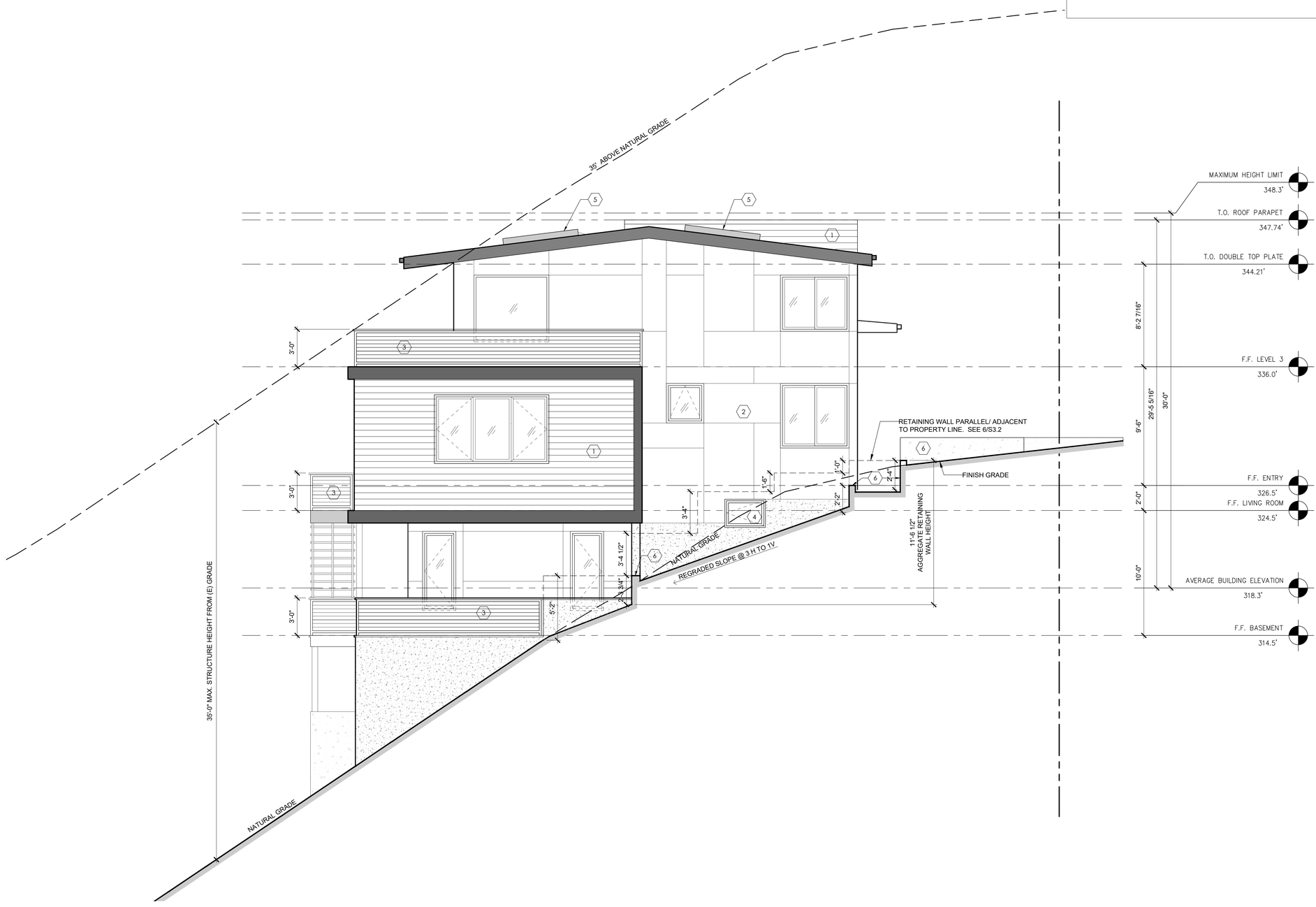
SECOND FLOOR
REFLECTED CEILING PLAN

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-2.07

KEY NOTES

1. SHIP-LAP WOOD SIDING
2. HARDIE REVEAL 1.0 PANELS
3. 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
4. CRAWL SPACE ACCESS
5. SKYLITE
6. CONCRETE RETAINING WALL PROTECTING CUT. AGGREGATE HEIGHT OF RETAINING WALLS IN IN REQUIRED YARD LIMITED TO 144" MAX. PER M.I. 19.02.050 (D)(4). SEE DETAILS 6 & 10 ON SHEET S3.2 FOR MORE INFORMATION.



A1 SOUTH BUILDING ELEVATION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

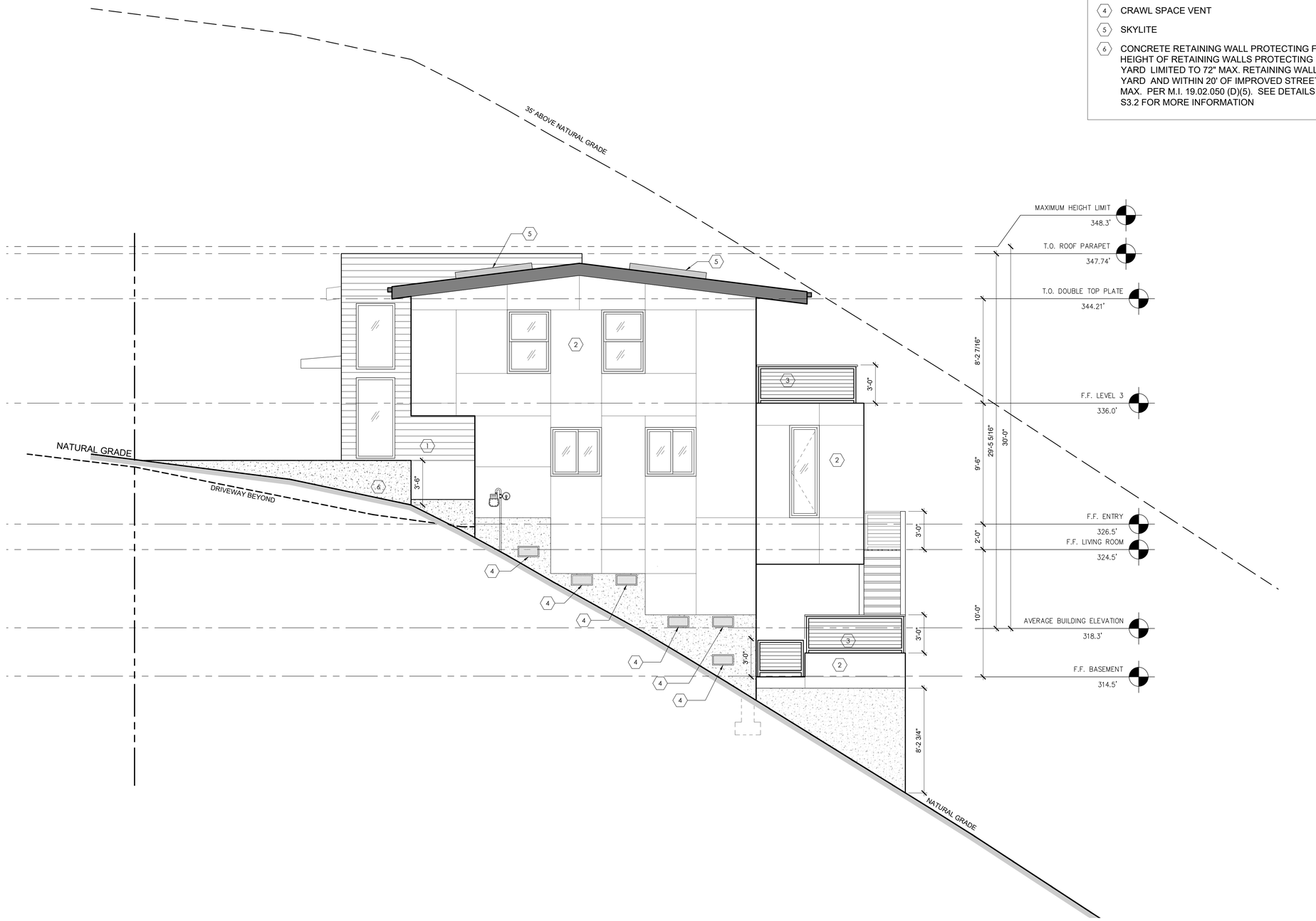
SOUTH BUILDING ELEVATION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-3.01

KEY NOTES

1. SHIP-LAP WOOD SIDING
2. HARDIE REVEAL 1.0 PANELS
3. 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
4. CRAWL SPACE VENT
5. SKYLITE
6. CONCRETE RETAINING WALL PROTECTING FILL. AGGREGATE HEIGHT OF RETAINING WALLS PROTECTING FILL IN REQUIRED YARD LIMITED TO 72" MAX. RETAINING WALLS IN REQUIRED YARD AND WITHIN 20' OF IMPROVED STREET LIMITED TO 42" MAX. PER M.I. 19.02.050 (D)(5). SEE DETAILS 6 & 10 ON SHEET S3.2 FOR MORE INFORMATION



A1 NORTH BUILDING ELEVATION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

NORTH BUILDING ELEVATION

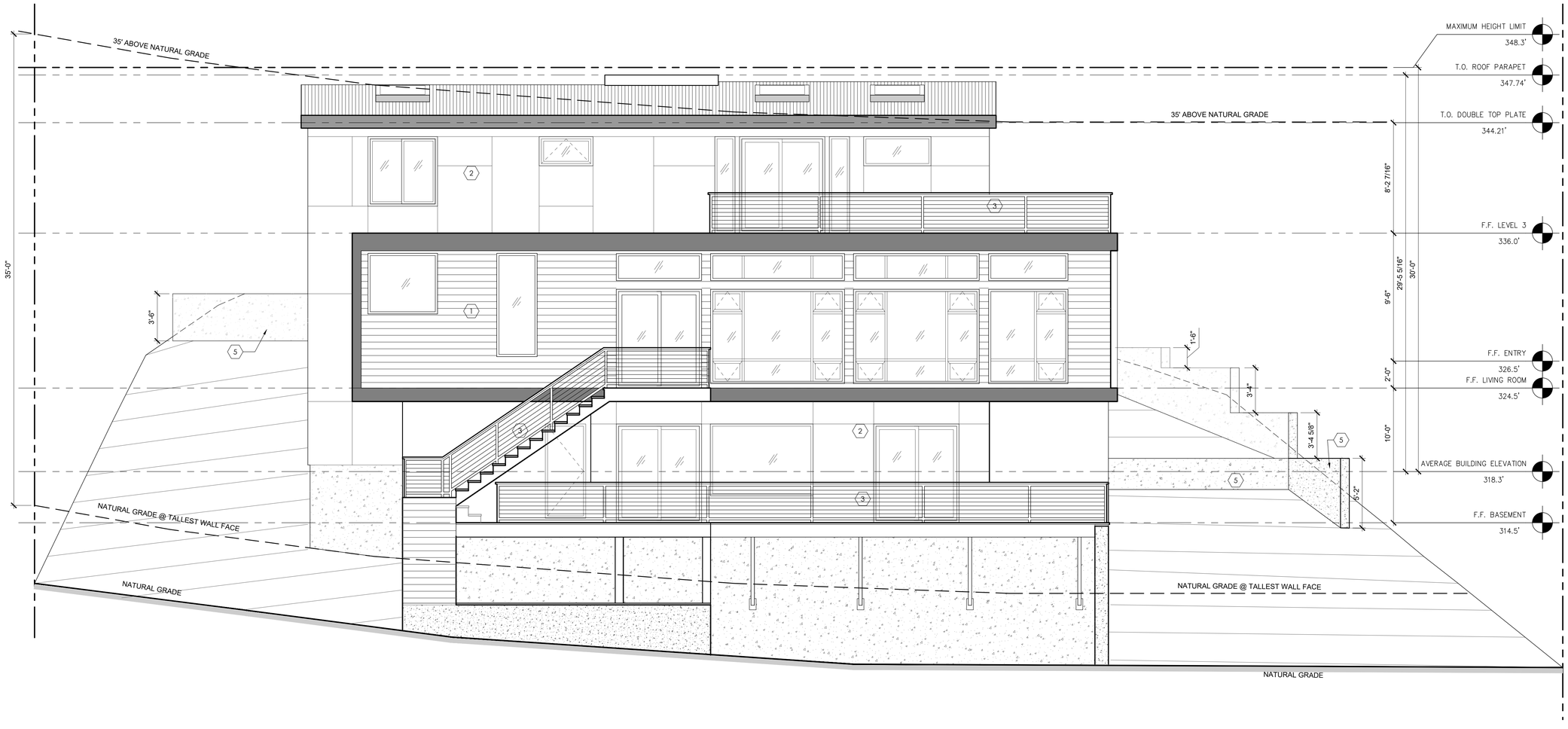
DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-3.02

KEY NOTES

1. SHIP-LAP WOOD SIDING
2. HARDIE REVEAL 1.0 CEMENTITIOUS PANELS
3. 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
4. STANDING SEAM METAL ROOF. 1:12 SLOPE
5. RETAINING WALL. SEE 6 & 10 / S3.2 FOR MORE INFORMATION



A1 WEST BUILDING ELEVATION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

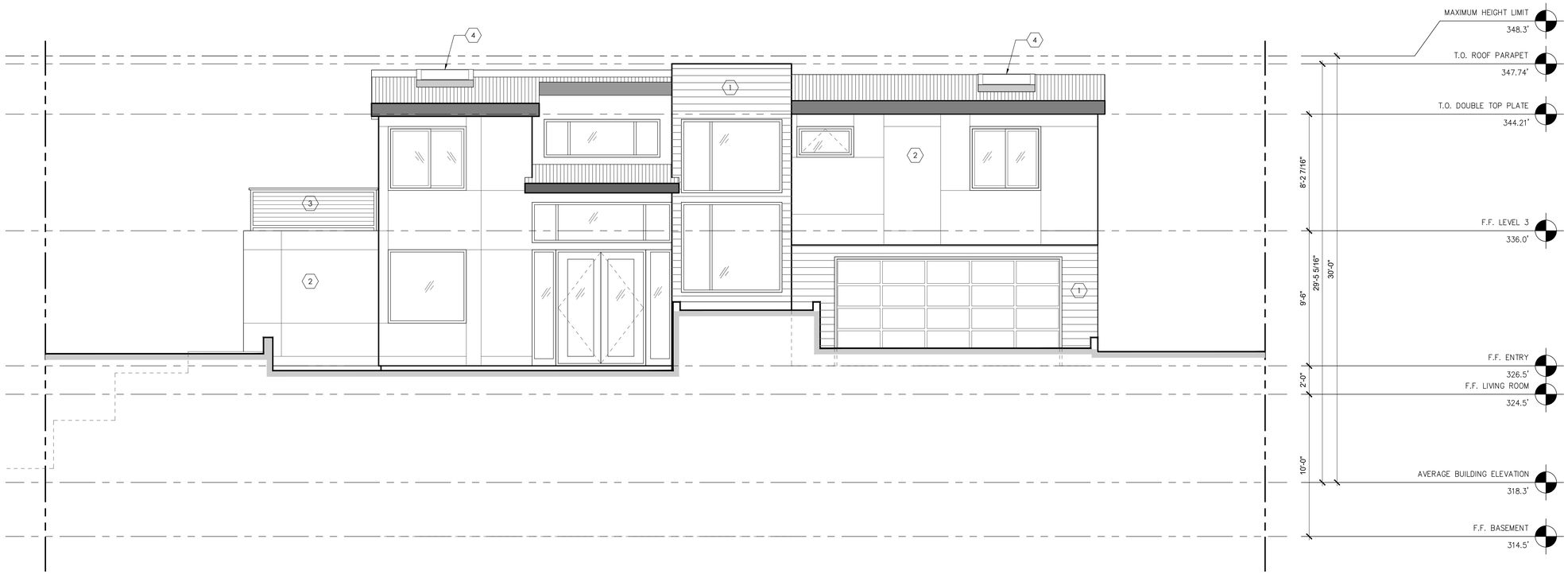
WEST BUILDING ELEVATION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-3.03

KEY NOTES

1. SHIP-LAP WOOD SIDING
2. HARDIE REVEAL 1.0 PANELS
3. 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
4. SKYLITE



A1 EAST BUILDING ELEVATION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

EAST BUILDING ELEVATION

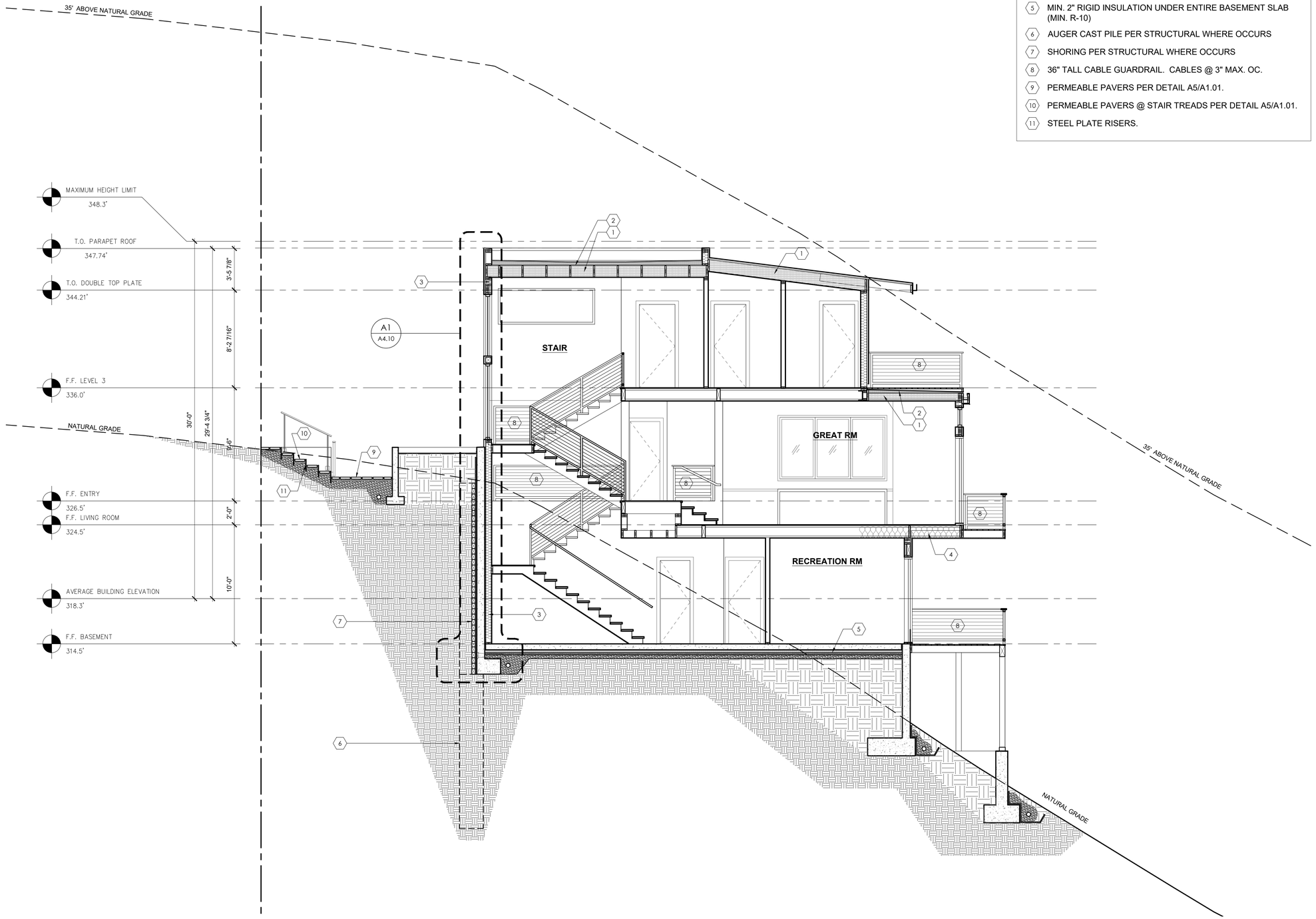
DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-3.04

KEY NOTES

1. SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
2. MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
3. EXTERIOR WALL BATT INSULATION (R-21 MIN.)
4. MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
5. MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
6. AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
7. SHORING PER STRUCTURAL WHERE OCCURS
8. 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.
9. PERMEABLE PAVERS PER DETAIL A5/A1.01.
10. PERMEABLE PAVERS @ STAIR TREADS PER DETAIL A5/A1.01.
11. STEEL PLATE RISERS.



A1 EAST - WEST BUILDING SECTION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

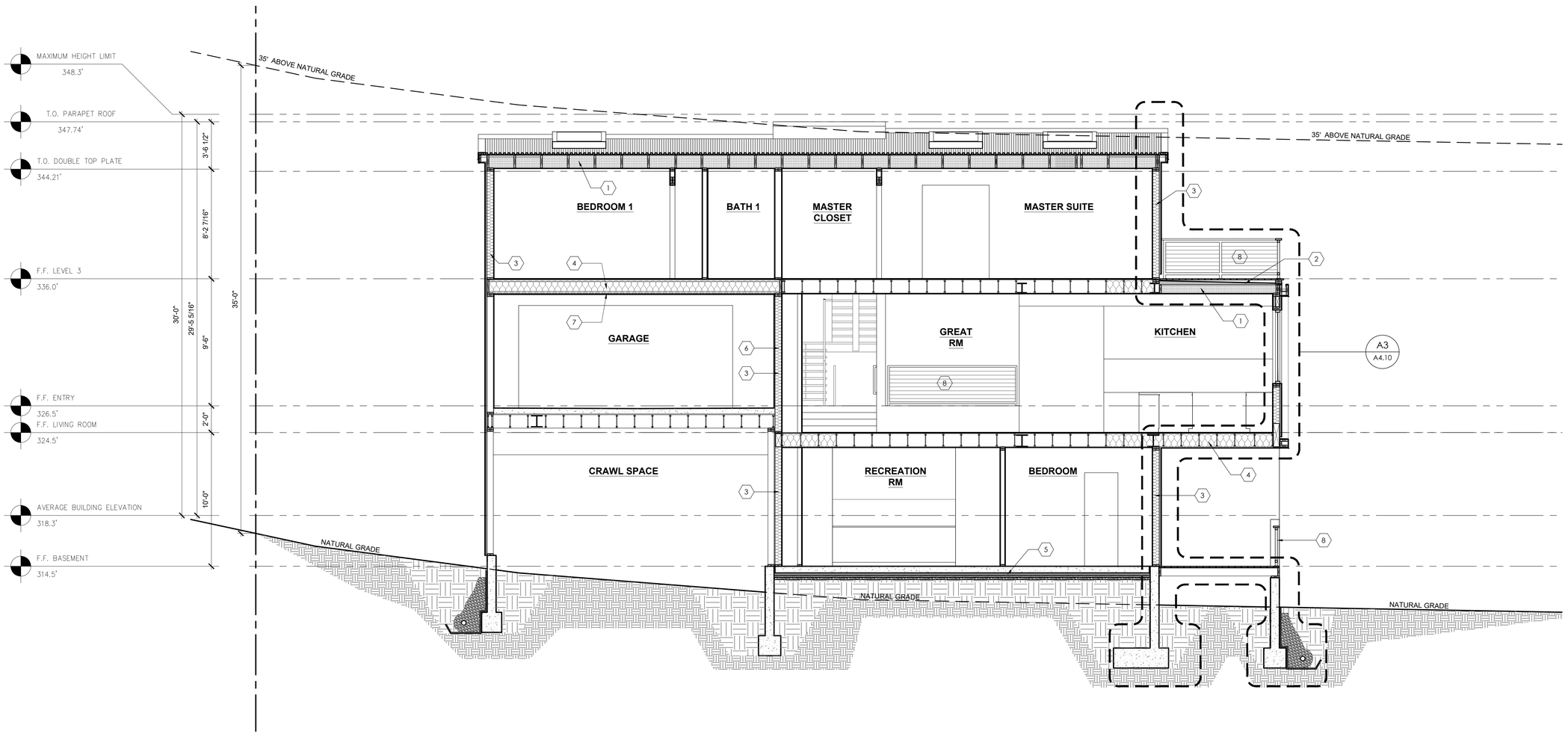
EAST - WEST BUILDING SECTION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-4.01

KEY NOTES

1. SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
2. MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
3. EXTERIOR WALL BATT INSULATION (R-21 MIN.)
4. MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
5. MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
6. 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE. SEE A2.02.
7. 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. SEE A 2.02.
8. 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.



A1 NORTH - SOUTH BUILDING SECTION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

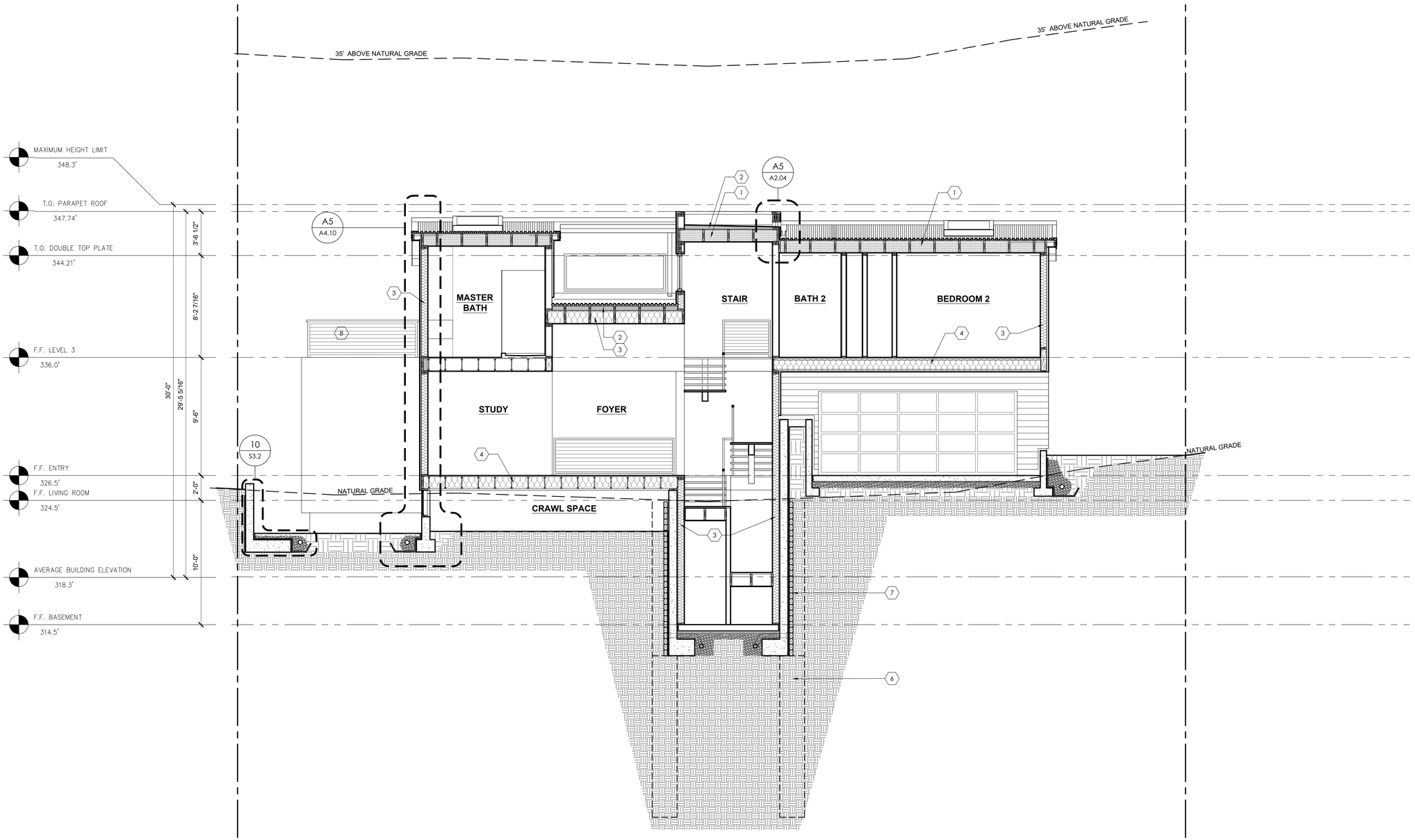
NORTH - SOUTH BUILDING SECTION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-4.02

KEY NOTES

1. SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
2. MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
3. EXTERIOR WALL BATT INSULATION (R-21 MIN.)
4. MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
5. NOT USED
6. AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
7. SHORING PER STRUCTURAL WHERE OCCURS
8. 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.



A1 SOUTH - NORTH BUILDING SECTION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

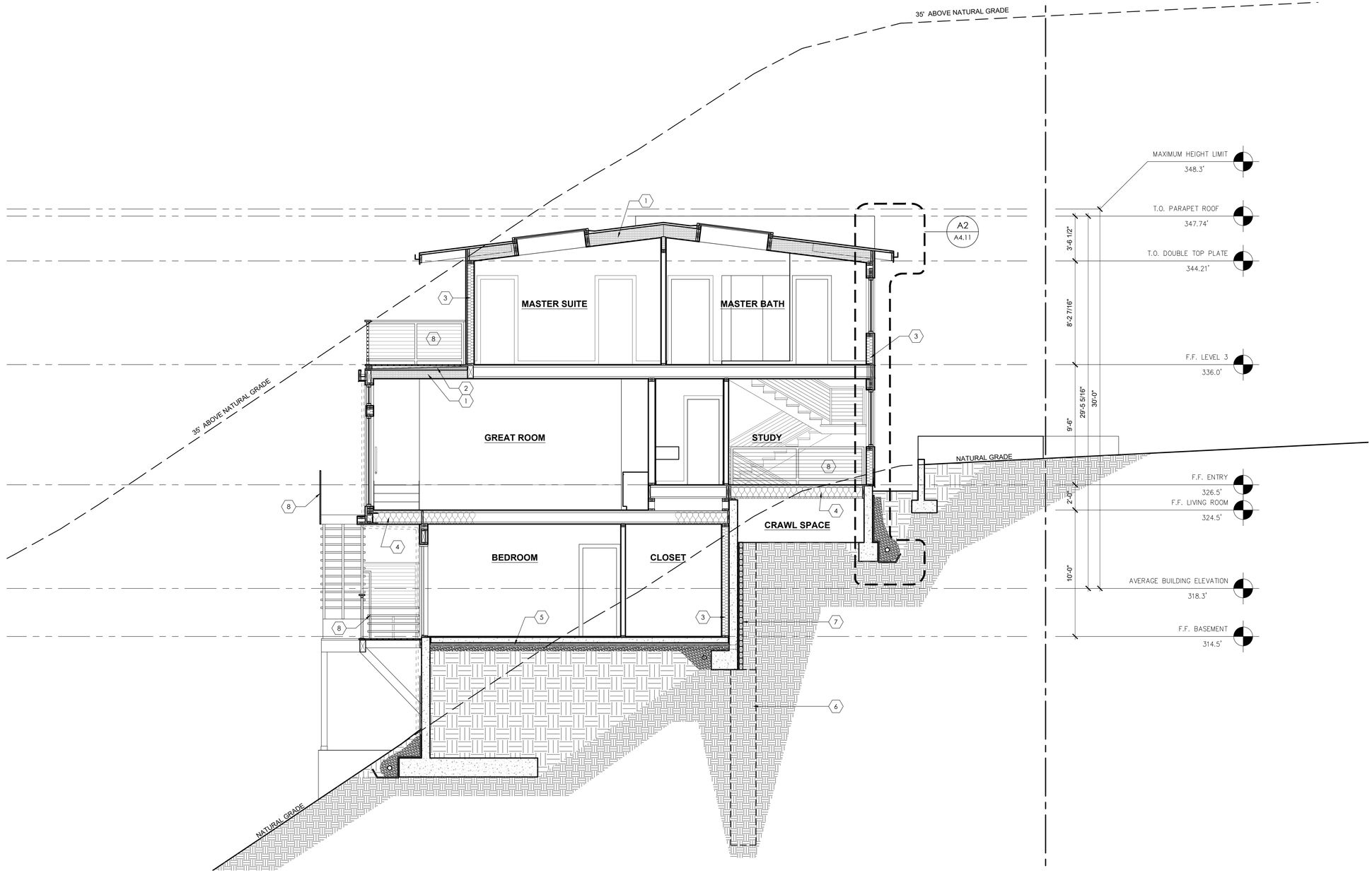
SOUTH - NORTH BUILDING SECTION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-4.03

KEY NOTES

1. SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
2. MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
3. EXTERIOR WALL BATT INSULATION (R-21 MIN.)
4. MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
5. MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
6. AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
7. SHORING PER STRUCTURAL WHERE OCCURS
8. 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.



A1 WEST - EAST BUILDING SECTION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

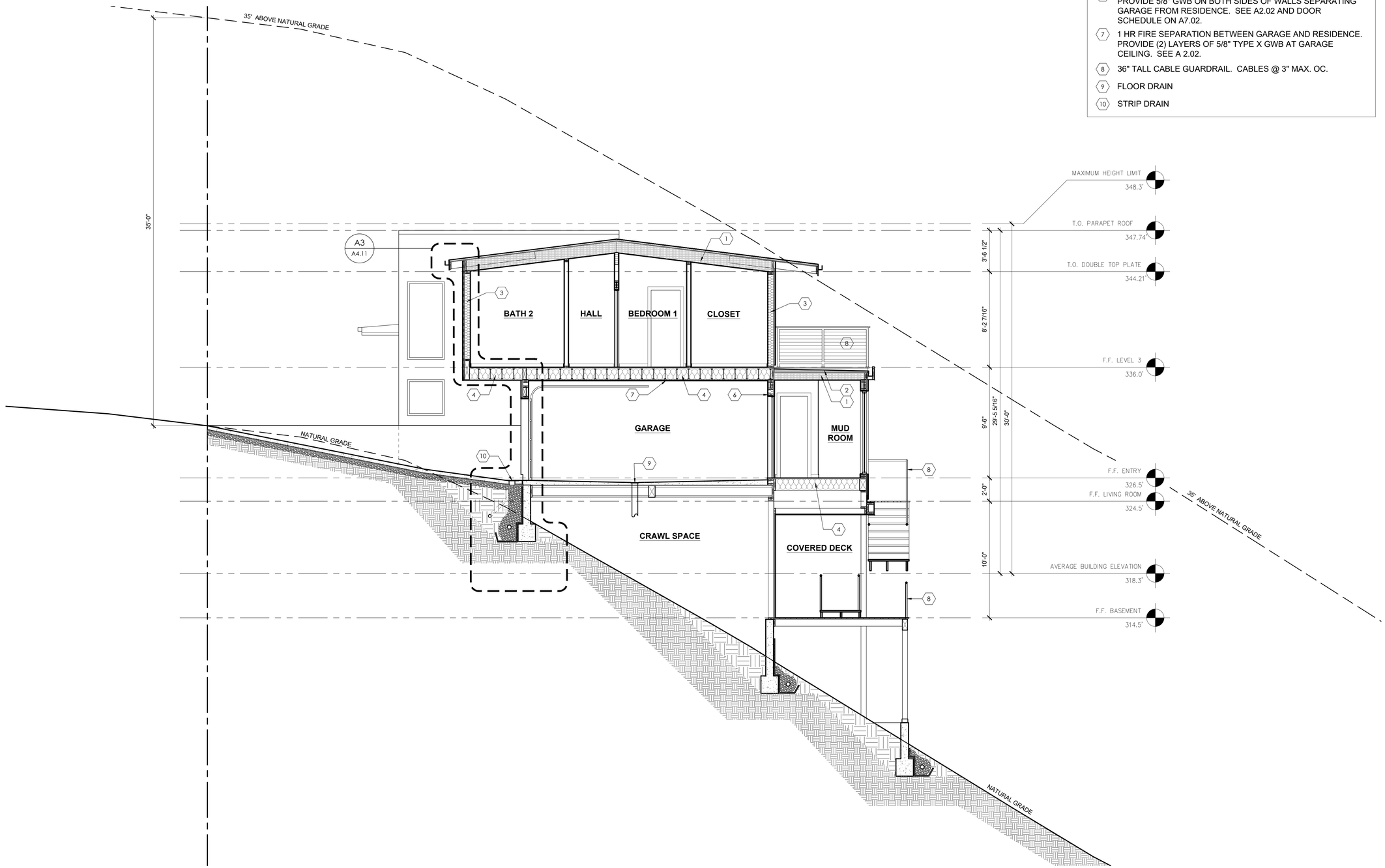
WEST - EAST BUILDING SECTION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-4.04

KEY NOTES

1. SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
2. MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
3. EXTERIOR WALL BATT INSULATION (R-21 MIN.)
4. MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
5. NOT USED ON THIS SHEET
6. 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE. SEE A2.02 AND DOOR SCHEDULE ON A7.02.
7. 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. SEE A 2.02.
8. 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.
9. FLOOR DRAIN
10. STRIP DRAIN



A1 EAST - WEST BUILDING SECTION
1/4" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

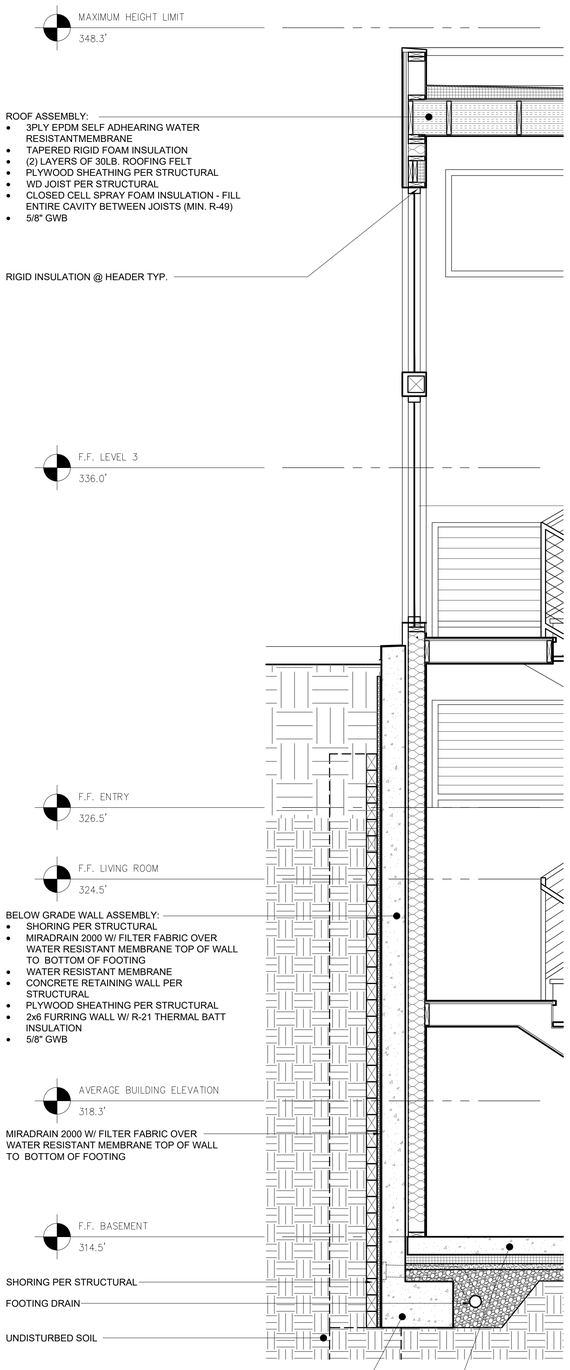
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

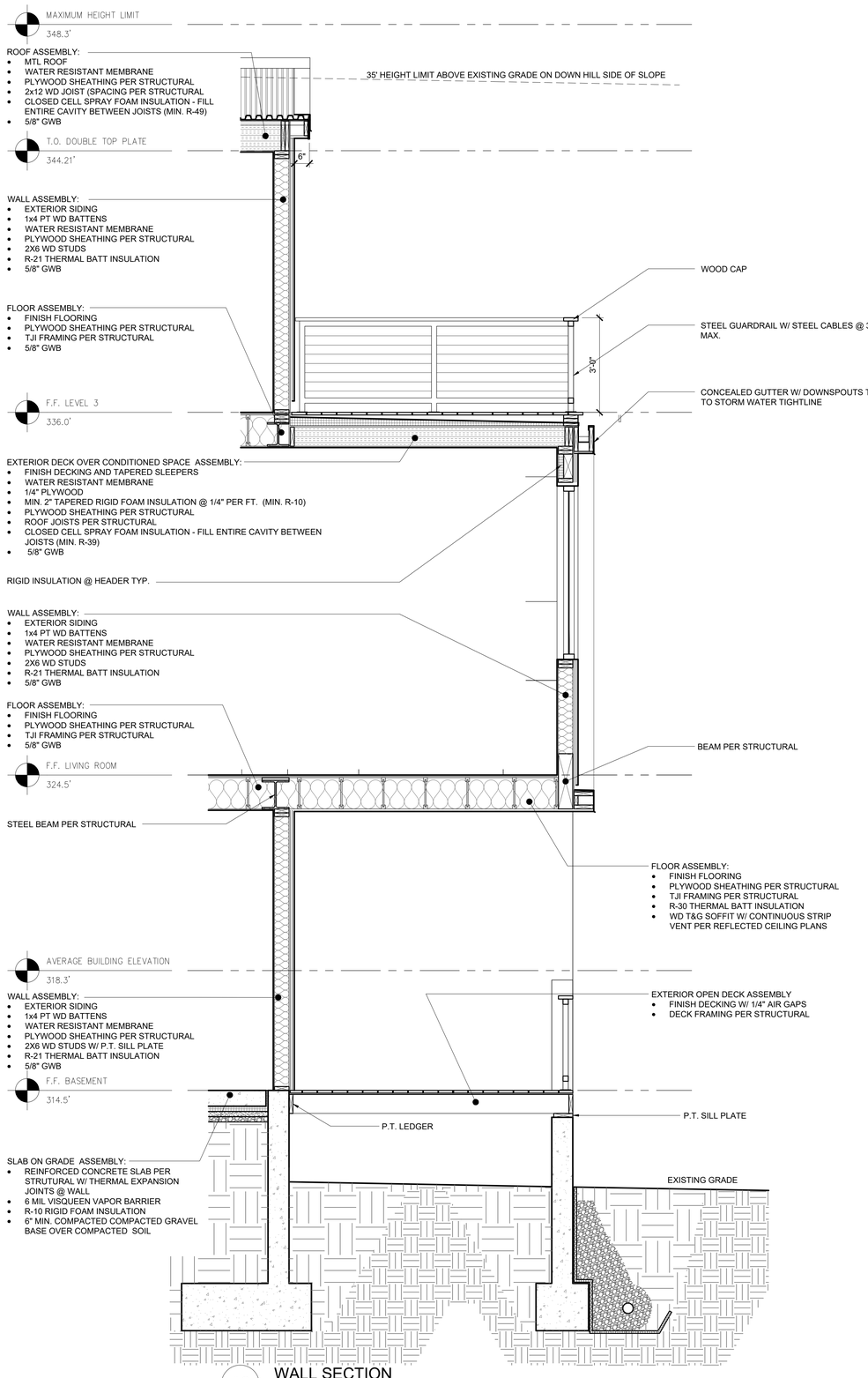
EAST - WEST BUILDING SECTION

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

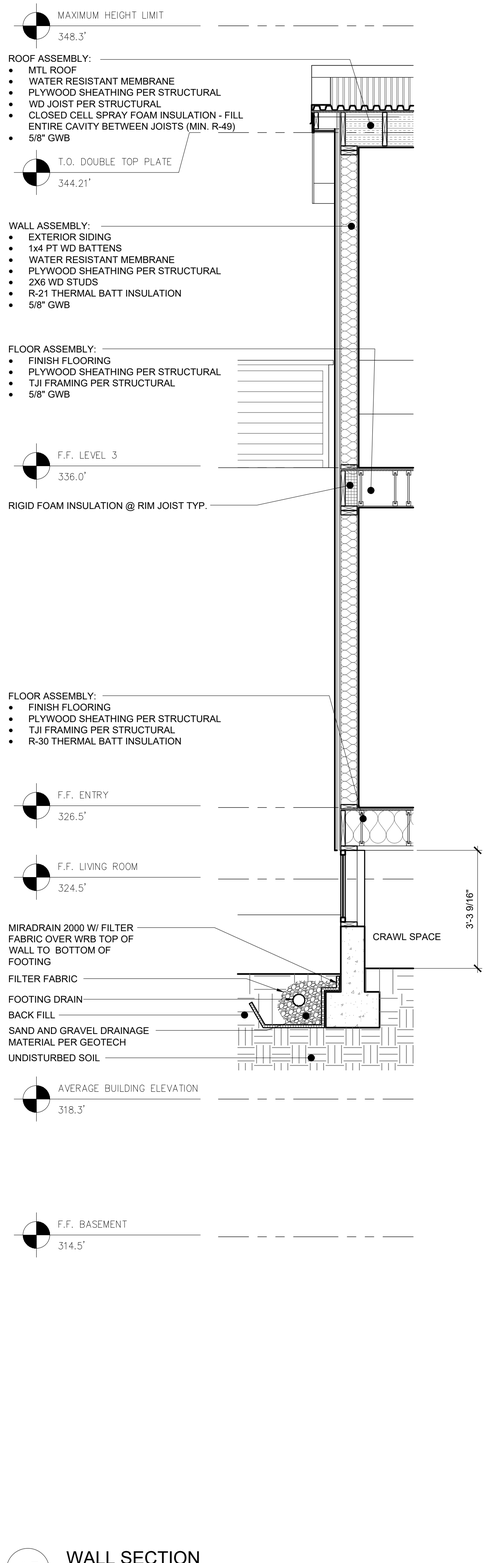
SHEET NUMBER: A-4.05



A1 WALL SECTION
1/2" = 1'-0"



A3 WALL SECTION
1/2" = 1'-0"



A5 WALL SECTION
1/2" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

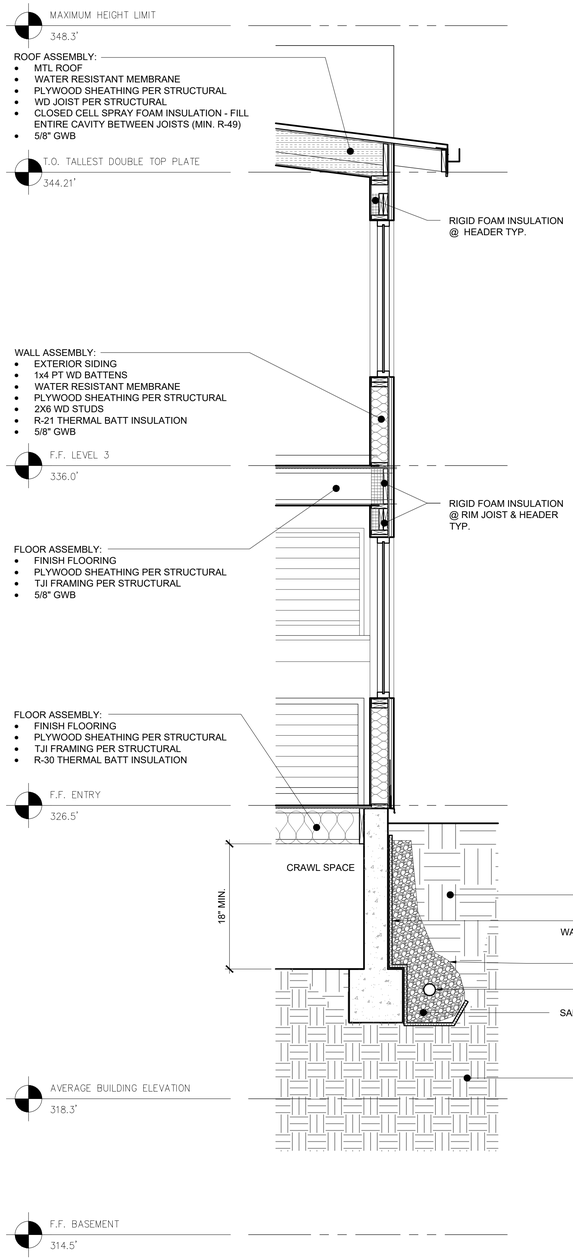
SHEET TITLE:

WALL SECTIONS

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

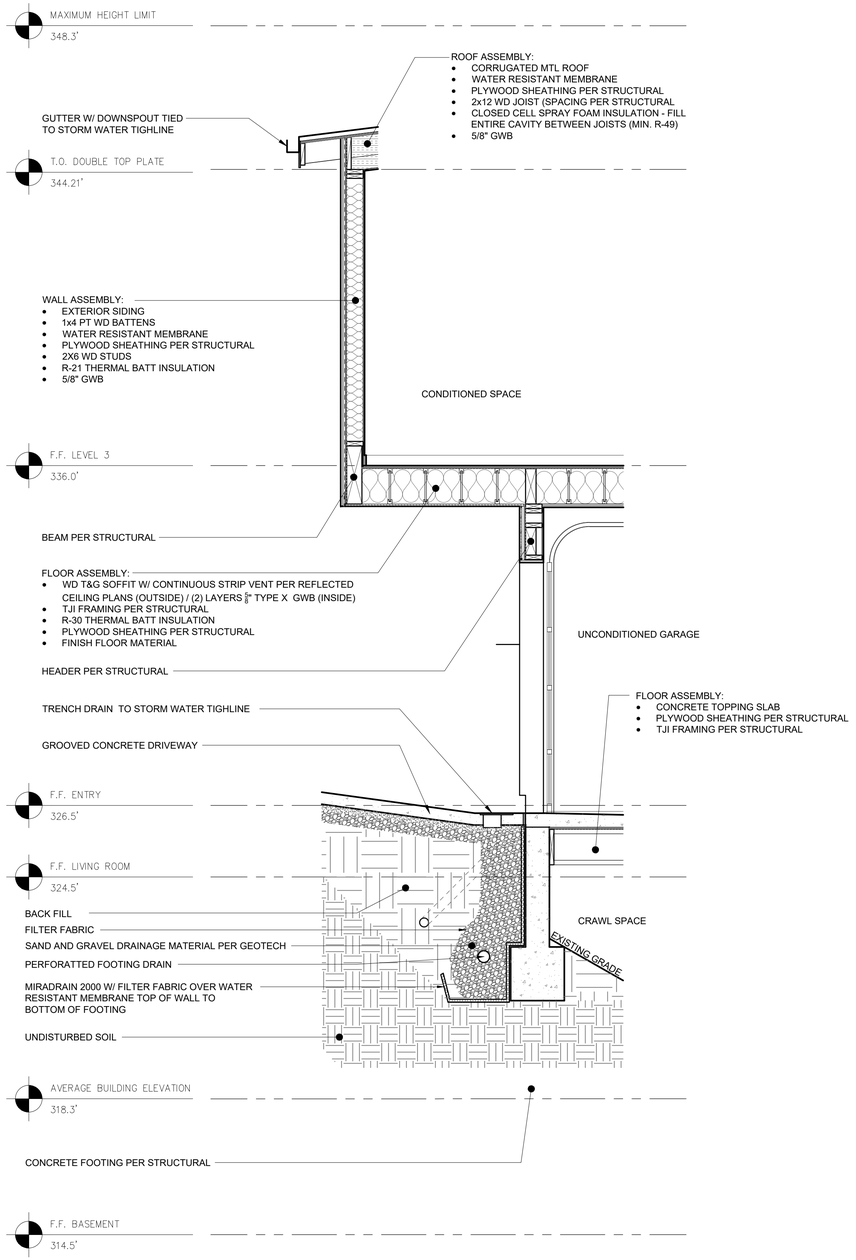
SHEET NUMBER:

A-4.10



A2 BUILDING SECTION

1/2" = 1'-0"



A3 BUILDING SECTION

1/2" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

WALL SECTIONS

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-4.11

WINDOW SCHEDULE

ID	WINDOWS SIZE W	SIZE H	SILL HEIGHT	TYPE	MANUFACTURER	FRAME TYPE	FRAME CONFIG	FRAME FIN	ENERGY U-VALUE	ENERGY SHGC	REMARKS
A	2'-8"	6'-4"	2'-0"	CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
B	8'-4"	5'-4"	2'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
C	7'-0"	6'-4"	0'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
D	1'-10"	8'-0"	0'-2"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
E	5'-6"	5'-2"	3'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
F	5'-6"	5'-2"	3'-0"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
G	3'-2"	3'-2"	5'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
H	9'-2"	5'-6"	3'-8"	CASEMENT / FIXED / CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
J	5'-10"	7'-0"	0'-4"	FIXED / FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG: HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
K	5'-10"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
L	10'-4 1/2"	7'-0"	0'-4"	AWNING / FIXED / AWNING /FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG: HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
M	10'-4 1/2"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
N	9'-11"	7'-0"	0'-4"	AWNING / FIXED / AWNING /FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG: HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
P	9'-11"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
Q	6'-4"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED. SAFETY GLAZING
R	3'-0"	7'-8"	0'-4"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
S	5'-2"	4'-6"	3'-6"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
T	2'-4"	7'-8"	0'-4"	CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG: HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
U	4'-0"	3'-10"	3'-8"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
V	7'-0"	5'-2"	7'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
W	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
X	9'-10"	2'-10"	8'-8"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
Y	5'-6"	4'-6"	2'-10"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
Z	6'-0"	5'-4"	2'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
AA	5'-0"	2'-2"	5'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
BB	1'-6"	6'-10"	0'-4"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
CC	8'-0"	2'-8"	5'-2"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
DD	4'-0"	2'-2"	5'-2"	AWNING	SIERRA PACIFIC	AL CLD	-	-	.31	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
EE	5'-0"	4'-6"	2'-10"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
FF	3'-0"	5'-0"	2'-4"	DBL HUNG	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
GG	3'-0"	6'-4"	0'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
HH	3'-0"	7'-2"	7'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
JJ	8'-0"	2'-8"	5'-2"	FIXED	SIERRA PACIFIC	AL CLD			.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
KK	6'-0"	4'-0"	----	SKYLITE	TBD		-	-	.50	-	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING

GENERAL NOTES

1. ALL WINDOW DIMENSIONS ARE NOMINAL. REFER TO MANUFACTURERS RECOMMENDATIONS FOR R.O. DIMENSIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION..

3. ALL GLASS IN A DOOR OR WITHIN 24" OF A DOOR, OR WITHIN 18" OF FLOOR OR WITHIN 60" OF TUB FLOOR OR ANY OTHER HAZARDOUS AREA PER CODE TO BE TEMPERED SAFETY GLASS. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.

4. DOORS & CASED OPENINGS LOCATED NEAR WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 3" FROM FACE OF NEARBY WALL UNLESS NOTED OTHERWISE.

5. ALL WINDOWS TO BE DOUBLE-GLAZED WITH A MINIMUM U-VALUE OF 0.35 OR BETTER.

6. SEE EXTERIOR ELEVATIONS FOR INFORMATION ON OPENING DIRECTION OF OPERABLE UNITS.

7. ALL DOORS TO BE 1¾" THICK, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.

8. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS.

9. CONTRACTOR TO VERIFY ALL CALLOUTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.

10. ALL DOORS TO HAVE LEVER HANDLES PER ACCESSIBILITY CODE REQUIREMENTS, UNLESS NOTED OTHERWISE.

11. 1" UNDERCUT IS FROM FINISHED FLOOR (I.E. TOP OF CARPET).

12. WALL CORRIDOR DOORS SHALL BE 20 MINUTE RATED & COMPLY WITH IBC SEC 715.3.3, 715.3.5 & NFPA 80.

13. ALL EXTERIOR LEVEL HANDLES SHALL BE CLUTCHED.

14. FURNISH SMOKE SEALS AS REQUIRED BY CODE.

15. DOORS AND CASED OPENINGS LOCATED NEARBY WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 6" FROM FACE OF NEARBY WALL. UNLESS NOTED OTHERWISE ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN ADJACENT WALL INTERSECTIONS.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

WINDOW SCHEDULE & DETAILS

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-7.01

DOOR SCHEDULE

NO	LOCATION	HDWE	DOOR SIZE W	DOOR SIZE H	DOOR FIRE RTG (MIN)	DOOR TYPE	DOOR CONFIG	DOOR FIN	FRAME TYPE	FRAME CONFIG	FRAME FIN	DETAILS HEAD	DETAILS JAMB(S)	DETAILS SILL	REMARKS
001	ENTRY - BASEMENT REC. RM		6'-4"	7'-0"	-	AL/GL	A	-	AL	-	-				LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
002	ENTRY - BASEMENT BEDROOM		6'-4"	7'-0"	-	AL/GL	A	P-1	WD-2	1	P-1	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
003	BASEMENT BEDROOM		2'-8"	7'-0"	-	HC	C	P-1	WD-2	1	P-1	TBD	TBD	TBD	
004	BASEMENT BATHROOM		2'-6"	7'-0"	-	SC	-	P-1	WD-2	1	P-1	TBD	TBD	TBD	
005	BASEMENT BEDROOM CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	P-1	WD-2	1	P-1				
006	BASEMENT MECHANICAL ROOM		2'-6"	6'-8"	20 MIN	SC	B	P-1	WD-2	1	P-1	TBD	TBD	TBD	
007	BASEMENT CRAWL SPACE		2'-6"	6'-8"		SC	B	P-1	WD-2	1	P-1				
101	ENTRY- FOYER		PR 3'-0"	7'-10"	-	AL/GL	F	WD-1	-	-	-	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
102	ENTRY - LIVING ROOM		6'-4"	7'-0"	-	AL/GL	D	P-	HM	1	P-	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
103	ENTRY - GARAGE / MUD ROOM	SELF CLSNG	3'-0"	7'-0"	20 MIN	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	MIN. 1-3/8" THICK SOLID WD DOOR W/ SELF CLOSING DEVICE, FIRE GASKET
104	GARAGE DOOR		16'-0"	7'-6"	-	AL/GL	E	-	HM	1	P-	TBD	TBD	TBD	
105	MUD ROOM / LAUNDRY		3'-0"	7'-0"	-	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
106	POWDER ROOM		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
107	FOYER CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
108	MUD ROOM CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
201	ENTRY - MASTER BEDROOM		6'-4"	7'-0"	-	AL/GL	SEE REMARKS	-	AL	-	-				LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
202	MASTER SUITE		3'-0"	7'-0"	-	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
203	MASTER SUITE BATHROOM		3'-0"	7'-0"	-	SC	C	WD-1	-	-	-	TBD	TBD	TBD	
204	MASTER SUITE WATER CLOSET		2'-6"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	SLIDING POCKET DOOR WITHIN GWB WALL & W/ DOOR FRAME
205	MASTER SUITE CLOSET		2'-8"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
206	MASTER SUITE CLOSET		2'-8"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
207	LINEN CLOSET		PR 2'-0"	7'-0"	-	HC	C	WD-1	-	-	-	TBD	TBD	TBD	
208	GUEST BATHROOM		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
209	BEDROOM 1		2'-8"	7'-0"	-	SC	A	-	WD-2	1	P-	TBD	TBD	TBD	
210	BEDROOM 2		2'-8"	7'-0"	-	SC	C	WD-1	-	-	-	TBD	TBD	TBD	
211	BATHROOM 1		2'-6"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
212	BEDROOM 1 CLOSET		PR 3'-0"	7'-0"	-	HC	C	WD-1	-	-	-	TBD	TBD	TBD	BI-PASS DOOR W/ DOOR FRAME
213	BEDROOM 2 CLOSET		PR 3'-0"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	BI-PASS DOOR W/ DOOR FRAME

GENERAL NOTES

1. ALL WINDOW DIMENSIONS ARE NOMINAL. REFER TO MANUFACTURERS RECOMMENDATIONS FOR R.O. DIMENSIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION..

3. ALL GLASS IN A DOOR OR WITHIN 24" OF A DOOR, OR WITHIN 18" OF FLOOR OR WITHIN 60" OF TUB FLOOR OR ANY OTHER HAZARDOUS AREA PER CODE TO BE TEMPERED SAFETY GLASS. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.

4. DOORS & CASED OPENINGS LOCATED NEAR WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 3" FROM FACE OF NEARBY WALL UNLESS NOTED OTHERWISE.

5. ALL WINDOWS TO BE DOUBLE-GLAZED WITH A MINIMUM U-VALUE OF 0.35 OR BETTER.

6. SEE EXTERIOR ELEVATIONS FOR INFORMATION ON OPENING DIRECTION OF OPERABLE UNITS.

7. ALL DOORS TO BE 1¾" THICK, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.

8. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS.

9. CONTRACTOR TO VERIFY ALL CALLOUTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.

10. ALL DOORS TO HAVE LEVER HANDLES PER ACCESSIBILITY CODE REQUIREMENTS, UNLESS NOTED OTHERWISE.

11. 1" UNDERCUT IS FROM FINISHED FLOOR (I.E. TOP OF CARPET).

12. WALL CORRIDOR DOORS SHALL BE 20 MINUTE RATED & COMPLY WITH IBC SEC 715.3.3, 715.3.5 & NFPA 80.

13. ALL EXTERIOR LEVEL HANDLES SHALL BE CLUTCHED.

14. FURNISH SMOKE SEALS AS REQUIRED BY CODE.

15. DOORS AND CASED OPENINGS LOCATED NEARBY WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 6" FROM FACE OF NEARBY WALL. UNLESS NOTED OTHERWISE ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN ADJACENT WALL INTERSECTIONS.

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

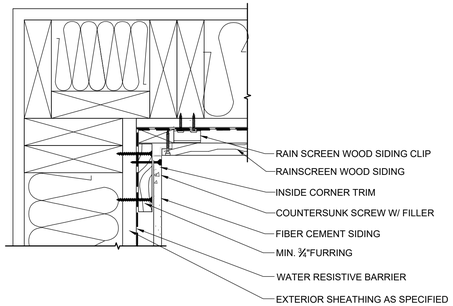
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

DOOR SCHEDULE & DETAILS

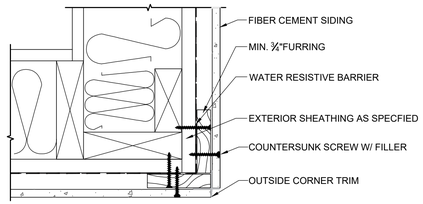
DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-7.02



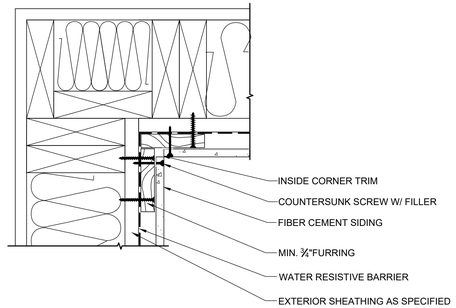
XX INSIDE CORNER - CEMENT BOARD TO WOOD

SCALE: 3" = 1'-0"



XX PLAN DETAIL @ OUTSIDE CORNER TRIM

SCALE: 3" = 1'-0"



XX PLAN DETAIL @ INSIDE CORNER TRIM

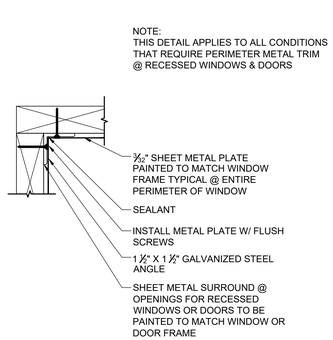
SCALE: 3" = 1'-0"

NOTES:

1. THESE DETAILS APPLY TO INSTALLATION OF CEMENT BOARD SIDING, THIN BRICK VENEER & WOOD SIDING ONLY.

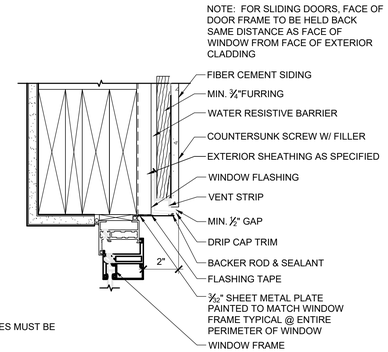
2. REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION ON WALL CONSTRUCTION.

3. REFER TO BUILDING ELEVATIONS FOR LOCATION OF JOINTS ON FIBER CEMENT PANELS & THIN BRICK.



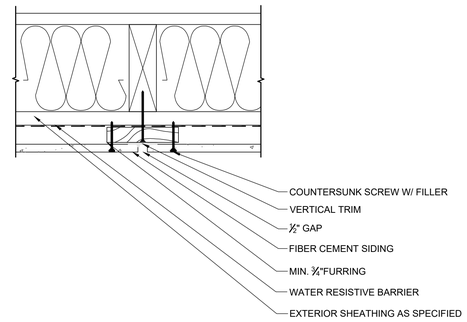
XX INSIDE CORNER @ WINDOW METAL SURROUND

SCALE: 3" = 1'-0"



XX WINDOW HEAD @ SIDING - DOOR HEAD SIM.

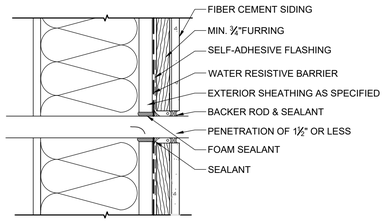
SCALE: 3" = 1'-0"



XX PANEL SECTION W/ VERTICAL TRIM

SCALE: 3" = 1'-0"

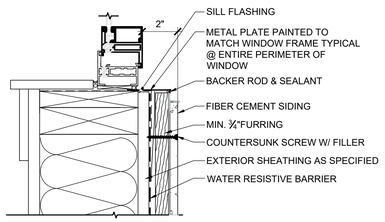
NOTE: EXTERNAL BLOCKING IS RECOMMENDED WHEN PENETRATION OCCURS AFTER THE INSTALLATION OF PANEL



XX DETAIL FOR HOLE 1 1/2" OR LESS

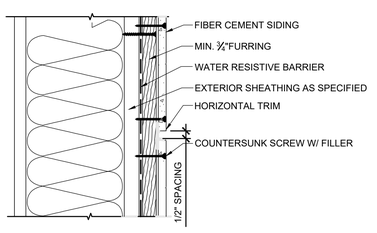
SCALE: 3" = 1'-0"

NOTE: FOR SLIDING DOORS, FACE OF DOOR FRAME TO BE HELD BACK SAME DISTANCE AS FACE OF WINDOW FROM FACE OF EXTERIOR CLADDING



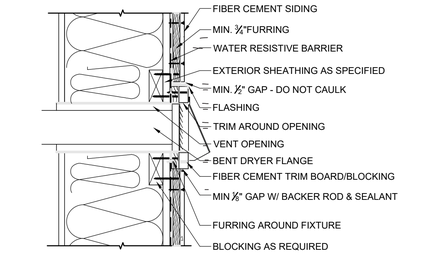
XX WINDOW SILL @ SIDING

SCALE: 3" = 1'-0"



XX PANEL SECTION W/ HORIZONTAL TRIM

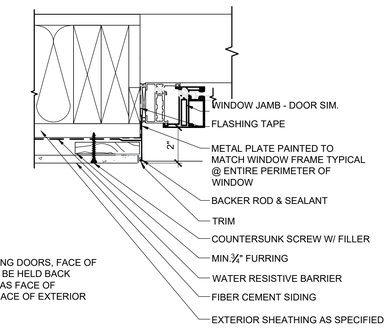
SCALE: 3" = 1'-0"



NOTE:
1. CAULK 3 SIDES BUT NOT TOP. J-CHANNEL TRIM IS OPTIONAL
2. EXTERNAL BLOCKING IS RECOMMENDED WHEN PENETRATION OCCURS AFTER THE INSTALLATION OF PANEL.
3. IF PENETRATION OCCURS BEFORE THE INSTALLATION OF PANEL, USE HORIZONTAL EDGE TRIM ON SILL & VERTICAL F-TRIM ON SIDES

XX PENETRATION DETAIL

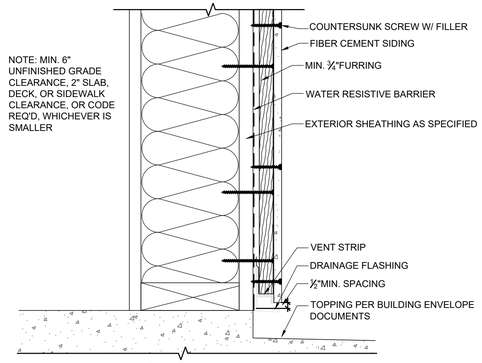
SCALE: 3" = 1'-0"



NOTE: FOR SLIDING DOORS, FACE OF DOOR FRAME TO BE HELD BACK SAME DISTANCE AS FACE OF WINDOW FROM FACE OF EXTERIOR CLADDING

XX WINDOW JAMB @ SIDING - DOOR JAMB SIM.

SCALE: 3" = 1'-0"



XX FOUNDATION DETAIL

SCALE: 3" = 1'-0"

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

EXTERIOR DETAILS - CLADDING

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER:

A-8.01

TYPICAL ASSEMBLIES

W1 EXTERIOR 2X6 WALL ASSEMBLY W/ SIDING
EXTERIOR SIDING & TRIM ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

W2 EXTERIOR 2X6 WALL ASSEMBLY W/ STUCCO
EXTERIOR STUCCO ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

W3 EXTERIOR 2X6 WALL ASSEMBLY W/ STONE VENEER
EXTERIOR STONE VENEER AS INDICATED O/
MORTAR SETTING BED O/ SCRATCH COAT O/
METAL LATH O/ WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

W4 TYPICAL BELOW GRADE WALL ASSEMBLY
FINISH COAT INTERIOR SIDE O/
VAPOR BARRIER PVC PRIMER O/
5/8" GYPSUM WALLBOARD O/
2x4 STUDS @ 16" O.C. OR AS NOTED W/
3" THK R-22 RIGID INSULATION O/
1/2" GAP BETWEEN STUDS AND FOUNDATION WALL
REINFORCED CONCRETE FOUNDATION WALL (PER STRUCTURAL) W/ EXTERIOR WATERPROOFING SYSTEM

W5 TYPICAL EXTERIOR DOUBLE WALL ASSEMBLY W/ SIDING
EXTERIOR SIDING & TRIM ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
2x FURRING @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

W6 TYPICAL EXTERIOR DOUBLE WALL ASSEMBLY W/ STUCCO
EXTERIOR STUCCO ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
2x FURRING @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

W7 TYPICAL 2X EXTERIOR UNHEATED WALL ASSEMBLY
EXTERIOR SIDING & TRIM ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
2x STUDS @ 16" O.C. O/
5/8" GYPSUM WALL BOARD O/
FINISH PER SCHEDULE.

W8 EXTERIOR 2x6 UNHEATED WALL ASSEMBLY AT UNEXCAVATED SPACE
EXTERIOR SIDING & TRIM ASSEMBLY AS INDICATED O/
WEATHER RESISTIVE BARRIER O/
PLYWOOD SHEATHING PER STRUCTURAL O/
R 21 FIBERGLASS INSULATION O/
2x6 STUDS @ 16" O.C. O/
6 MIL VAPOR BARRIER

W9 TYPICAL INTERNAL WALL ASSEMBLY
FINISH COAT EA. SIDE O/
VAPOR BARRIER PVC PRIMER EA. SIDE O/
5/8" GYPSUM WALLBOARD EA. SIDE O/
2X PER FRAMING PLAN OR AS NOTED.

SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND AS NOTED.

NOTE:
SEE PLANS & WALL SCHEDULE FOR MORE SPECIFIC WALL ASSEMBLY INFORMATION.

W10 GARAGE TO HEATED SPACE 2x6 WALL ASSEMBLY
FINISH COAT EA. SIDE O/
VAPOR BARRIER PVC PRIMER EA. SIDE O/
5/8" GYPSUM WALLBOARD EA. SIDE (TYPE-X AT GARAGE) O/
2X6 STUDS @ 16" O.C. OR AS NOTED.
R 21 FIBERGLASS INSULATION O/

W11 TYPICAL INTERNAL PARTIAL HEIGHT WALL ASSEMBLY:
FINISH COAT EA. SIDE O/
VAPOR BARRIER PVC PRIMER EA. SIDE O/
5/8" GYPSUM WALLBOARD EA. SIDE O/
1/4" PLYWOOD SHEATHING ONE SIDE O/
2x STUDS @ 16" O.C. U.N.O.

W12 TYPICAL FLAT-FRAMED INTERNAL WALL ASSEMBLY:
FINISH COAT EA. SIDE O/
VAPOR BARRIER PVC PRIMER EA. SIDE O/
5/8" GYPSUM WALLBOARD EA. SIDE O/
1/4" PLYWOOD SHEATHING ONE SIDE O/
2x STUDS @ 16" O.C. U.N.O.

W13 TYPICAL RAILING WALL ASSEMBLY
FINISH COAT EA. SIDE O/
VAPOR BARRIER PVC PRIMER EA. SIDE O/
5/8" GYPSUM WALLBOARD EA. SIDE O/
2X STUDS @ 16" O.C. OR AS NOTED.
W/ WOOD CAP AT HEIGHT AS NOTED.

F1 TYPICAL SLAB-ON-GRADE FLOOR ASSEMBLY:
REINFORCED CONCRETE SLAB PER STRUCT. W/
THERMAL EXPANSION JOINTS AT WALL O/
6 MIL VISQUEEN VAPOR BARRIER O/
R-10 RIGID FOAM INSULATION
6" MINIMUM COMPACTED GRAVEL BASE O/
UNDISTURBED SOIL

F2 TYPICAL GARAGE FLOOR ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT.,
SLOPED TO DRAIN (1/4" PER FT.),
6 MIL POLY VAPOR BARRIER O/
6" MINIMUM COMPACTED STRUCT. FILL O/
UNDISTURBED SOIL.

F3 TYPICAL FLOOR ASSEMBLY O/ CRAWL SPACE:
FLOOR FINISH PER SCHEDULE O/
3/4" T&G FLOOR SHEATHING (GLUED & SCREWED) O/
TJI'S PER STRUCTURAL O/
R30 INSULATION O/
6 MIL VISQUEEN VAPOR BARRIER O/
18" CRAWL SPACE TO GRADE MIN

F4 TYPICAL FLOOR ASSEMBLY OVER UNHEATED EXTERIOR SPACE
FLOOR FINISH PER SCHEDULE O/
3/4" T&G FLOOR SHEATHING (GLUED & SCREWED) O/
TJI'S PER STRUCTURAL O/
R30 INSULATION O/
6 MIL VISQUEEN VAPOR BARRIER O/
EXTERIOR T&G CEDAR SOFFIT MATERIAL
(SMOOTH FACE EXPOSED)

F5 TYPICAL FLOOR ASSEMBLY OVER HEATED SPACE
FLOOR FINISH PER SCHEDULE O/
3/4" T&G FLOOR SHEATHING (GLUED & SCREWED) O/
TJI'S PER STRUCTURAL O/
(2X DROP CEILING /SOFFIT FRAMING AS INDICATED) O/
5/8" GYPSUM WALLBOARD O/
VAPOR BARRIER PVC PRIMER O/
FINISH PER SCHEDULE.

F6 TYPICAL FLOOR ASSEMBLY O/ GARAGE:
FLOOR FINISH PER SCHEDULE O/
3/4" T&G FLOOR SHEATHING (GLUED & SCREWED) O/
TJI'S PER STRUCTURAL O/
R30 INSULATION O/
5/8 "TYPE X" GWB O/
VAPOR BARRIER PVC PRIMER O/
FINISH PER SCHEDULE.

F7 COMPOSITE PAVER TILES OVER WATERPROOF DECK ASSEMBLY:
COMPOSITE PAVER TILES O/
LEVELING PEDISTALLS O/
DRAINAGE MAT O/
WATER PROOF MEMBRANE BARRIER O/
3/4" T&G DECK SHEATHING O/
2X SLEEPERS – SLOPED TO DRAIN (1/4"/FT) O/
DECK FRAMING PER STRUCT. O/
2X SOFFIT FRAMING O/
3/8" BEVELED SOFFIT BOARD (SMOTH FACE EXPOSED)
W/ CONTINUOUS STRIP VENTING

F8 TYPICAL STAIR ASSEMBLY
FLOOR FINISH PER SCHEDULE O/
3/4" T&G FLOOR SHEATHING (GLUED & SCREWED) O/
(3) 2X12 STRINGERS OR 2X10 JOIST AT LANDINGS O/
(2X DOP CEILING AS INDICATED (MINIMUM 7'-0" HEAD HEIGHT) O/
(R30 INSULATION OVER UNHEATED SPACE) O/
5/8" 'TYPE-X' GYPSUM WALLBOARD O/
VAPOR BARRIER PVC PRIMER O/
FINISH PER SCHEDULE.

S1 TYPICAL DRIVEWAY ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT.,
SLOPED TO DRAIN (1/4' PER FT.),
STAINED & SCORED, O/
6" MINIMUM COMPACTED STRUCT. FILL O/
UNDISTURBED SOIL.

S2 TYPICAL CONCRETE PATIO ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT.,
SLOPED TO DRAIN (1/4' PER FT.),
STAINED & SCORED, O/
6" MINIMUM COMPACTED STRUCT. FILL O/
UNDISTURBED SOIL.

NOTES:
SEE PLAN FOR SCORING PATERN AND INFORMATION.

FOR 'STONE INLAY' LOCATIONS, ASSUME:
EXTERIOR GRADE STONE TILE (BY OTHER) O/
MORTAR BED (BY OTHER) O/ MIN. CONCRETE TOPPING SLAB. STONE INLAY SHALL FINISH 'FLUSH' WITH REST OF CONCRETE TOPPING SLAB.

R1 TYPICAL ROOF ASSEMBLY
COMPOSITION ROOFING O/
2 LAYERS OF 30 LB. ROOFING FELTS O/
PLY SHEATHING PER STRUCT. O/
PRE ENGINEERED TRUSSES OR 2X FRAMING PER STRUCT. W/ A MINIMUM OF 1" AIR SPACE O/
R-38 BATT INSULATION O/
2x COFFERED CEILING FRAMING AS INDICATED O/
5/8 GYPSUM WALLBOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE OR
3/8" BEVELED SOFFIT BOARD (SMOTH FACE EXPOSED)
W/ CONTINUOUS STRIP VENTING

R2 TYPICAL ROOF ASSEMBLY OVER UNHEATED SPACE
COMPOSITION ROOFING O/
2 LAYERS OF 30 LB. ROOFING FELTS O/
PLY SHEATHING PER STRUCT. O/
PRE ENGINEERED TRUSSES OR 2X FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE OR
3/8" BEVELED SOFFIT BOARD (SMOTH FACE EXPOSED)
W/ CONTINUOUS STRIP VENTING

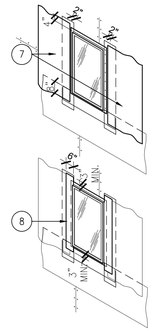
R3 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE
(SELF-ADHERING CAP SHT O/
SELF-ADHERING BASE SHT O/
MECHANICALY-ADHERED BASE SHT) O/
TAPERED INSULATION (MIN. R-10 AT LOW POINT) O/ 2 LAYERS OF 30 LB. ROOFING FELTS O/
3/4 PLYWOOD SHEATING PER STRUCT. O/
R-30 BATT INSULATION O/
ROOF FRAMING PER STRUCT. O/
2X COFFERED CEILING FRAMING AS INDICATED O/
5/8 GYPSUM WALLBOARD O/
VAPOR BARRIER PVA PRIMER O/
FINISH PER SCHEDULE.

FLAT ROOF TO TERMINATE AT VERTICALLY AT PARAPET OR VERITCAL WALL FACE. SEE DETAILS FOR CONDITIONS.

GENERAL NOTE
ALL ASSEMBLIES, MATERIALS AND PRODUCTS SHALL BE INSTALLED AND CONSTRUCTED TO CODE COMPLIANCE OR BETTER AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

7 BLEEDER STRIPS AT JAMBS:
INSTALL ONE COURSE OF WEATHER-RESISTIVE BARRIER VERTICALLY AT JAMBS. OFFSET EDGE OF WEATHER-RESISTIVE BARRIER 2" FROM ROUGH OPENING.

8 SELF-ADHESIVE JAMB FLASHING:
WIPE CLEAN NAILING FLANGE AND BASE FLASHING. APPLY 6" WIDE SELF-ADHESIVE JAMB FLASHING (FORTIFIBER "MOISTOP FORTIFLASH) OVER NAILING FLANGE. APPLY FIRM PRESSURE WITH A ROLLER ALONG ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL.

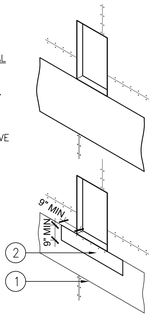


C4 WEATHER RESISTIVE BARRIER
NTS

*NOTE:
CONTRACTOR SHALL CONFIRM COMPATIBILITY OF ALL MATERIALS USED IN PENETRATION FLASHING SEQUENCE. USE SIMILAR METHODS AT EACH BUILDING PENETRATION.

1 WEATHER-RESISTIVE BARRIER MATERIAL AT SILL:
INSTALL ONE COURSE OF WEATHER-RESISTIVE BARRIER AT SILL. FASTEN ONLY THE TOP OF WEATHER-RESISTIVE BARRIER TO SUBSTRATE, TO ALLOW (FOLLOWING) LOWER COURSE OF WEATHER RESISTIVE BARRIER TO GO UNDERNEATH.

2 BASE FLASHING – SILL:
INSTALL WATER-RESISTANT BASE FLASHING (FORTIFIBER "NEXT") AT SILL, ON TOP OF WEATHER-RESISTIVE BARRIER.



C5 WEATHER RESISTIVE BARRIER
NTS

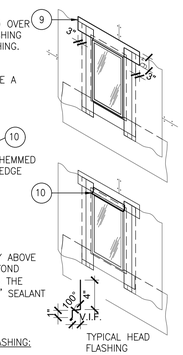
9 SELF-ADHESIVE HEAD MEMBRANE FLASHING:
WIPE CLEAN THE WINDOW FLANGE, PREVIOUS FLASHING LAYERS AND SUBSTRATE. APPLY 9" WIDE SELF-ADHESIVE HEAD FLASHING (FORTIFIBER "MOISTOP EZ-SEAL") OVER THE WINDOW FLANGE, BASE FLASHING AND SELF-ADHESIVE JAMB FLASHING. USING A ROLLER, APPLY FIRM PRESSURE ALONG THE ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL.

CRIMP END DAM. SET IN SEALANT.

DEPTH OF WINDOW SEALANT TO FOLLOW WINDOW FRAME

METAL SIDING APPLICATION:
APPLY METAL FLASHING DIRECTLY ABOVE WINDOW. EXTEND FLASHING BEYOND WINDOW FRAME ⅝" EA. SIDE, OR THE MINIMUM REQUIRED TO COVER ½" SEALANT JOINT.

10 TYPICAL 24 GA. METAL HEAD FLASHING:
PROVIDE END DAM AT BOTH ENDS OF HEAD FLASHING (SEE WINDOW HEAD DETAIL)

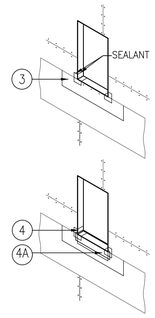


B4 WEATHER RESISTIVE BARRIER
NTS

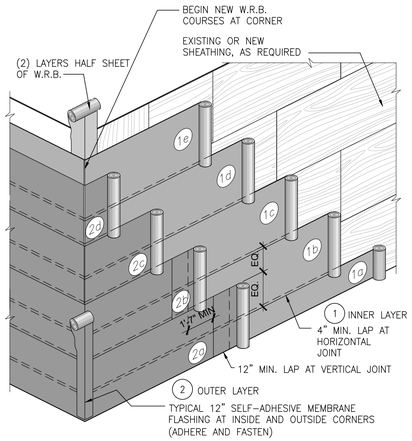
3 CORNER SHIELD:
FASTEN PRE-FORMED CORNER SHIELDS IN BEAD OF SEALANT AT JAMB TO FRAMING, CUT TO FIT TIGHT TO EXISTING LINER. DO NOT NAIL THROUGH SILL.

4 SILL WRAP:
INSTALL SELF-ADHESIVE SILL WRAP FLASHING (FORTIFIBER 'FORTIFLASH') AT SILL, ON TOP OF BASE FLASHING AND CORNER SHIELDS. INSTALL UP TO LINER.

4A SILL PAN:
METAL SILL PAN WITH VERTICAL INTERIOR LIP OVER SILL WRAP



B5 WEATHER RESISTIVE BARRIER
NTS



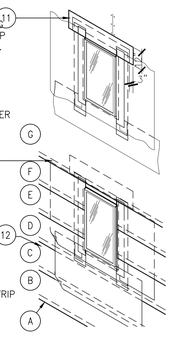
TYPICAL SEQUENCING OF WEATHER RESISTIVE MEMBRANE PRIOR TO INSTALLATION OF EXTERIOR FINISH MATERIAL

A3 WEATHER RESISTIVE BARRIER
NTS

11 WATERPROOF HEAD FLASHING MEMBRANE:
INSTALL MEMBRANE (FORTIFIBER "FORTIFLASH") OVER METAL HEAD FLASHING. APPLY FIRM PRESSURE WITH A ROLLER ALONG THE ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL. FASTEN AT CORNERS AND MIDPOINT.

INTEGRATE PREVIOUSLY INSTALLED WEATHER-RESISTIVE BARRIER AT JAMBS (PER STEP 7 OF SEQUENCE INTO W.R.B. WEATHERBOARD ASSEMBLY.

12 WEATHER-RESISTIVE BARRIER:
START AT THE BOTTOM OF THE WALL, LAY WEATHER-RESISTIVE BARRIER UP THE WALL, OVERLAPPING ½ ROLL + 4" MIN. HORIZ. AND 6" VERTICAL IN WEATHERBOARD FASHION. MAKE SURE THAT COURSE 'C' AND 'D' ARE PLACED UNDER THE SILL STRIP FLASHING AND JAMB FLASHING. ALIGN VERTICAL EDGE OF W.R.B. WITH SIDES OF HEAD FLASHING (LETTERS REFER TO ORDER OF INSTALLATION)

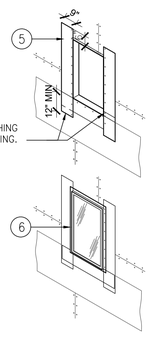


A4 WEATHER RESISTIVE BARRIER
NTS

5 VERTICAL BASE FLASHING-JAMB:
INSTALL VERTICAL BASE FLASHING (FORTIFIBER "MOISTOP") OVER SILL FLASHING.

EXTEND JAMB FLASHING BEYOND SILL FLASHING.

6 WINDOW FLANGE W/ SILICONE SEALANT:
APPLY CONTINUOUS BEAD OF SILICONE SEALANT (ASTM C-920 TYPE "S" GRADE N.S. CLASS 25) ALONG TOP, SIDES AND BOTTOM OF WINDOW FLANGE. DO NOT NAIL AT WINDOW HEAD. INSTALL WINDOW IN OPENING PER MANUFACTURER'S SPECIFICATIONS.



A5 WEATHER RESISTIVE BARRIER
NTS

studio19 architects
207-½ first ave. s | suite 300
seattle, washington 98104
www.studio19architects.com
tel: 206.466.1225

PROFESSIONAL SEAL:

9373 REGISTERED ARCHITECT HUI TIAN STATE OF WASHINGTON

PROJECT:

VIEWCREST CAPITAL
11900 NE 1st ST, SUITE 300
BELLEVUE, WA 98005
CONTACT: ANDY PARK
TEL: 425-591-7690
EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL
6	05/18/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

TYPICAL ASSEMBLIES &
WEATHER RESISTIVE BARRIER DETAILS

DATE ISSUED: 05/18/2020
PROJECT NO.: 20140218

SHEET NUMBER: A-8.02

GENERAL STRUCTURAL NOTES

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC) 2012 EDITION.

2. DESIGN LOADING CRITERIA

FLOOR LIVE LOAD (RESIDENTIAL)		40 PSF
SNOW		25 PSF
WIND		METHOD - DIRECTIONAL PROCEDURE Kzt=1.37, GCpi=0.18, 110 MPH (RISK CATEGORY II), EXPOSURE "B"
EARTHQUAKE	ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS SDC D, Ie=1.0, Ss=1.43, S1=0.55, Sds=0.953, Sd1=0.55, Cs=0.147, R=6.5, SEISMIC DESIGN BASE SHEAR Vsx=17.4 KIPS	

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTIONS, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-02 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION."

6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTOR'S WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

GEOTECHNICAL

10. REQUIREMENTS SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE	4000 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)	50 PCF/35 PCF
SEISMIC SURCHARGE	7H
PASSIVE PRESSURE	250 PCF
COEFFICIENT OF FRICTION	0.3
4" DIAMETER STANDARD WEIGHT PIPE PILE CAPACITY	10 TONS

SOILS REPORT REFERENCE:
GEOTECHNICAL ENGINEERING REPORT FOR 88TH AVENUE SOUTHEAST, MERCER ISLAND, WA, PREPARED BY THE RILEY GROUP, INC, REPORT NUMBER 2014-100 DATED JUNE 13, 2014

11. 4" DIAMETER STANDARD WEIGHT PIPE PILES SHALL BE DRIVEN TO REFUSAL AS DEFINED BY THE SOILS ENGINEER. PIPE PILES SHALL BE INSTALLED IN STRICT CONFORMANCE TO SOILS ENGINEER'S REQUIREMENTS. TESTING OF PILES SHALL BE ACCORDANCE WITH SOILS ENGINEER'S REQUIREMENTS AND AT A MINIMUM BE TESTED IN ACCORDANCE TO ASTM STANDARD D1143-81 FOR A MINIMUM OF (1)PILE OR 3% OF 3", 4" AND 6" DIAMETER PILES UP TO (5)PILES OF EACH SIZE MAXIMUM; USE OF THE QUICK LOAD TEST METHOD IN THE STANDARD IS THE MINIMUM REQUIRED. STEEL PIPE SHALL CONFORM TO ASTM 53, GRADE A OR B, Fy = 35 KSI. PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED SLEEVE COUPLERS. PIPE JOINTS SHOULD NOT BE WELDED TOGETHER. PILES NEED TO BE PLACED WITHIN 3" OF SPECIFIED LOCATION. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRIVING PILES.

CONCRETE

12. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 318 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3000 PSI. SLUMP OF CONCRETE SHALL NOT EXCEED 6". STRUCTURAL DESIGN IS BASED ON A CONCRETE STRENGTH OF f'c = 2500 PSI, THEREFORE NO CONCRETE STRENGTH TESTING REQUIRED.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-11, TABLE 4.4.1.

13. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60 KSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy = 40 KSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, fy = 60 KSI.

14. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-05 AND 318-11. LAP ALL CONTINUOUS REINFORCEMENT #6 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-11, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

15. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER)	2"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)	1-1/2"
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	1-1/2"
SLABS AND WALLS (INT FACE)	GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

CRITERIA

16. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" EPOXY ADHESIVE AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2508. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A36, UNO.

17. HEAVY DUTY THREADED CONCRETE ANCHORS SPECIFIED ON THE DRAWINGS SHALL BE "TITEN HD SCREW ANCHOR" AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2713, INCLUDING MINIMUM EMBEDMENT AND EDGE DISTANCE REQUIREMENTS. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES.

18. EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "STRONG-BOLT" ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT CONFORMANCE TO ICC-ES REPORT ESR-1771, INCLUDING MINIMUM EMBEDMENT AND EDGE DISTANCE REQUIREMENTS. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

19. DRIVE PINS AND OTHER POWDER-ACTUATED FASTENERS SHALL BE LOW VELOCITY TYPE (PDPWL-300MG, 0.145" DIAMETER, UNO) AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY OR AN APPROVED EQUIVALENT IN STRENGTH AND EMBEDMENT. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2138. MINIMUM EMBEDMENT IN CONCRETE SHALL BE 1", UNO. MAINTAIN AT LEAST 3" TO NEAREST CONCRETE EDGE.

WOOD

20. ALL 2x LUMBER SHALL BE KILN DRIED OR MC-19, AND ALL LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2x AND 3x MEMBERS)	HEM-FIR NO 2 OR SPRUCE-PINE-FIR NO 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4x MEMBERS)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fb = 900 PSI
BEAMS	(6x AND LARGER)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fb = 875 PSI
POSTS	(4x MEMBERS)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6x AND LARGER)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fc = 600 PSI
STUDS, PLATES AND MISC FRAMING:		HEM-FIR NO 2 OR SPRUCE-PINE-FIR NO 2

21. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2400 PSI, Fv = 265 PSI, E = 1800 KSI. UNLESS NOTED OTHERWISE ALL CANTILEVERED AND MULTI-SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI, E = 1800 KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5000' RADIUS, UNO. GLUED LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 3, L2D GRADE, Fc = 2300 PSI, Fb = 2000 PSI, E = 1900 KSI.

22. MANUFACTURED LUMBER, PSL, LVL, AND LSL, SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.2E)	Fb = 2900 PSI	E = 2200 KSI	Fv = 290 PSI
LVL (2.0E)	Fb = 2600 PSI	E = 2000 KSI	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI	E = 1550 KSI	Fv = 310 PSI
PSL COLUMN (1.8E)	Fc = 2400 PSI	E = 1800 KSI	Fv = 190 PSI

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

23. PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.

24. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS-1 OR PS-2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

WALL SHEATHING SHALL BE 7/16" or 1/2" (NOMINAL) WITH SPAN RATING 24/0

FLOOR SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

WATERPROOF DECK SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

FLAT ROOF SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

ROOF SHEATHING SHALL BE 1/2" or 7/16" (NOMINAL) WITH SPAN RATING 32/16 FOR ROOFS WITH A PITCH GREATER THAN 2:12

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

25. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2)LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

26. PRESSURE TREATED WOOD (INCLUDES PRESERVATIVE AND FIRE TREATED) SHALL BE TREATED PER AWPA STANDARDS. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO RETENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS WITHOUT AMMONIA IN DIRECT CONTACT WITH ACQ-A TO A RETENTION LEVEL OF 0.40 PCF), CBA-A (UP TO A RETENTION LEVEL OF 0.41 PCF), CA-B (UP TO A RETENTION LEVEL OF 0.21 PCF), SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS WITH AMMONIA IN DIRECT CONTACT WITH ACQ-A (OVER A RETENTION LEVEL OF 0.40 PCF), CBA-A (OVER A RETENTION LEVEL OF 0.41 PCF), CA-B (OVER A RETENTION LEVEL OF 0.21 PCF), OR WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.

27. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-2013. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2x JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "IUS" SERIES JOIST HANGERS. ALL DOUBLE-JOISTS BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIU" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT (2)MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

28. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	TYPE	LENGTH	DIAMETER
8d	COMMON	2-1/2"	0.131"
10d	GUN	3"	0.131"
12d	GUN	3-1/4"	0.131"
16d	GUN	3-1/2"	0.131"

B. IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

C. NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

D. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG SCREWS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2012 EDITION) WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS. BOLT HOLES SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. HOLES SHALL BE ACCURATELY ALIGNED IN MAIN MEMBERS AND SIDE PLATES/MEMBERS. BOLTS SHALL NOT BE FORCIBLY DRIVEN.

E. SDS SERIES WOOD SCREWS CALLED OUT ON PLAN SHALL BE "SIMPSON STRONG-DRIVE" WOOD SCREWS BY SIMPSON COMPANY, AND INSTALLED IN STRICT ACCORDANCE TO ICC-ES REPORT ESR-2236. EQUIVALENT SCREWS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. LAG SCREWS ARE NOT AN EQUIVALENT SUBSTITUTION.

29. WOOD FRAMING NOTES - THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC, THE AITC "TIMBER CONSTRUCTION MANUAL", AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, SHALL CONFORM TO TABLE 2304.9.1. OF THE IBC, UNO. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

B. WALL FRAMING: REFER TO ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16"oc, UNO. (2)STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. (2)2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS IN STRUCTURAL WALLS, UNO. NAIL MULTI-MEMBER HEADERS WITH (2)ROWS 10d AT 12"oc. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE AND BOTTOM PLATE TO EACH STUD WITH (3)10d NAILS. FACE NAIL DOUBLE TOP PLATES WITH 10d AT 12"oc AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE (12)10d NAILS AT 4"oc EACH SIDE OF JOINT. AT TOP PLATE INTERSECTIONS PROVIDE (3)10d FACE NAILS.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH (2)ROWS OF 10d NAILS AT 16"oc, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS AT 4'-0"oc EMBEDDED 7" MINIMUM, UNO. THERE SHALL BE A MINIMUM OF (2)BOLTS PER PLATE SECTION WITH (1)BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END OF THE PLATE SECTION. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH (2)ROWS OF 10d AT 16"oc. UNLESS NOTED OTHERWISE, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH #6 x 1-1/4" TYPE S OR W SCREWS AT 8"oc. UNLESS NOTED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS AT 6"oc AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS AT 12"oc. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS, UNO. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL TIMBER JOISTS TO SUPPORTS WITH (3)10d NAILS AND NAIL TJI JOISTS TO SUPPORTS WITH (2)10d NAILS. ATTACH JOISTS TO BEAMS WITH SIMPSON JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH (2)ROWS 10d AT 12"oc. TOENAIL RIM JOIST TO TOP PLATE WITH 10d AT 6"oc. TOENAIL BLOCKING BETWEEN JOISTS TO TOP PLATE WITH (3)10d NAILS.

UNLESS NOTED OTHERWISE ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6"oc WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12"oc TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 10d AT 12"oc, UNO.

30. NOTCHES AND HOLES IN WOOD FRAMING:

A. SAWN LUMBER JOISTS AND RAFTERS: NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE JOIST DEPTH, BE LONGER THAN 1/3 THE JOIST DEPTH, OR BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. HOLES SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED 1/3 THE JOIST DEPTH. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2)TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL BE LOCATED A MINIMUM OF 2" FROM ANY NOTCH.

B. EXTERIOR AND BEARING WALLS: WOOD STUDS ARE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 1/4 OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED IN WOOD STUDS. HOLES SHALL NOT BE WITHIN 5/8" TO THE EDGE OF THE STUD. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2)TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL NOT BE LOCATED AT THE SAME SECTION AS A NOTCH.

C. CUTS, NOTCHES, AND HOLES IN MANUFACTURED LUMBER, PREFABRICATED PLYWOOD WEB JOISTS, AND PREFABRICATED TRUSSES ARE PROHIBITED EXCEPT WHERE NOTED ON STRUCTURAL PLANS OR PERMITTED BY MANUFACTURER'S RECOMMENDATIONS.

STEEL

31. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI. HP SHAPES SHALL CONFORM TO ASTM A572 GRADE 50, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STRUCTURAL PIPE SHALL CONFORM TO ASTM A53 GRADE B, Fy = 35 KSI. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B, Fy = 46 KSI (SQUARE AND RECTANGULAR), Fy = 42 KSI (ROUND). CONNECTION BOLTS SHALL CONFORM TO ASTM A307, UNO.

32. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

33. ALL A325 CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH.

34. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F), AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

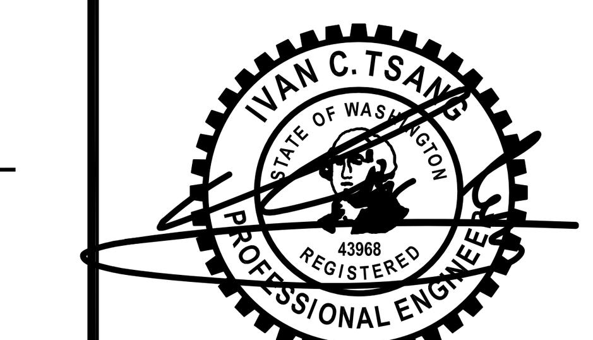
ABBREVIATIONS

±	PLUS OR MINUS	GL	GLUE LAMINATED TIMBER	OSB	ORIENTED STRAND BOARD
Ø	DIAMETER				
AB	ANCHOR BOLT	GR	GRADE	PLF	POUNDS PER LINEAR FOOT
ADDL	ADDITIONAL	GT	GIRDER TRUSS		
ALT	ALTERNATE	GWB	GYPSUM WALLBOARD	PLY	PLYWOOD
APPROX	APPROXIMATE	HD	HOLDOWN	PREFAB	PREFABRICATED
ARCH	ARCHITECT, ARCHITECTURAL	HDR	HEADER	PSF	POUNDS PER SQUARE FOOT
		HF	HEM FIR		
BLKG	BLOCKING	HGR	HANGER	PSI	POUNDS PER SQUARE INCH
BM	BEAM	HM	HIP MASTER		
BOE	BOTTOM OF EXCAVATION	HORIZ	HORIZONTAL	PSL	PARALLEL STRAND LUMBER
		HT	HEIGHT		
BOT	BOTTOM	IBC	INTERNATIONAL BUILDING CODE	PT	PRESSURE TREATED LUMBER
℄	CENTERLINE				
CLR	CLEARANCE	INT	INTERIOR	REINF	REINFORCING
CONT	CONTINUOUS	IRC	INTERNATIONAL RESIDENTIAL CODE	REQD	REQUIRED
DBL	DOUBLE			SOG	SLAB ON GRADE
DF	DOUGLAS FIR	JST	JOIST	SQ	SQUARE
DP	DEEP, DEPTH	K	KIPS (1000 LBS)	STD	STANDARD
DN	DOWN	KP	KING POST	SW	SHEARWALL
DS	DRAG STRUT	L	LENGTH	T&G	TONGUE AND GROOVE
DWGS	DRAWINGS	LBS	POUNDS	THRD	THREADED
(E)	EXISTING	LONG	LONGITUDINAL	TPL	TRIPLE
EA	EACH	LSL	LAMINATED STRUCTURAL LUMBER	TRANSV	TRANSVERSE
EMBED	EMBEDMENT			TYP	TYPICAL
EQ	EQUAL	LVL	LAMINATED VENEER LUMBER	UNO	UNLESS NOTED OTHERWISE
EQUIV	EQUIVALENT				
EW	EACH WAY	MAX	MAXIMUM	VERT	VERTICAL
EXP	EXPANSION	MB	MACHINE BOLT	W	WIDE OR WIDTH
EXT	EXTERIOR	MFR	MANUFACTURER	w/	WITH
FDN	FOUNDATION	MIN	MINIMUM	w/o	WITHOUT
FRMG	FRAMING	MISC	MISCELLANEOUS	WHS	WELDED HEADED STUD
FT	FEET	NO	NUMBER		
FTG	FOOTING	NTS	NOT TO SCALE	WTS	WELDED THREADED STUD
GA	GAUGE	oc	ON CENTER		
GALV	GALVANIZED	OPP	OPPOSITE	WWM	WELDED WIRE MESH

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T



PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

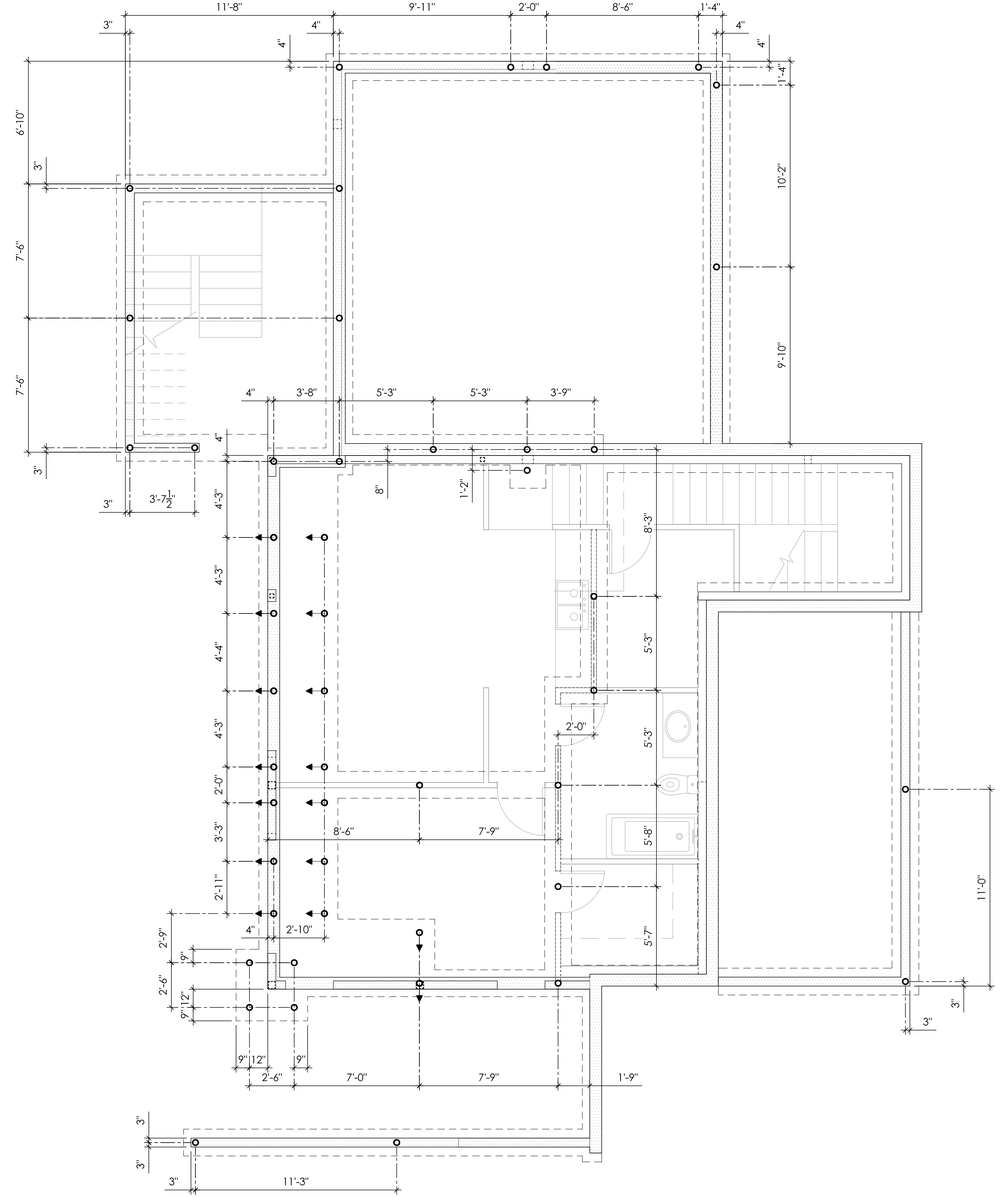
REV DESCRIPTION DATE

GENERAL STRUCTURAL NOTES

SCALE - NTS

S1.0

Plotted by: keiths
Plotted Date: Feb 04, 2015 - 5:33pm



PLAN NOTES

1. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SOILS REPORT FOR ADDITIONAL PILE INSTALLATION REQUIREMENTS.
3. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS.
4. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE FOOTING ABOVE
- CONCRETE WALL ABOVE
- STRUCTURAL WALL ABOVE
- 4"Ø STANDARD WEIGHT PILE (10-TON CAPACITY) REFER TO 10/S3.0 FOR EMBEDMENT INTO FOOTING
- 4"Ø BATTERED PIPE PILE (1H: 5V) IN DIRECTION OF ARROW

PILE SPECIFICATIONS

1. 4" DIAMETER STANDARD WEIGHT PIPE PILES SHALL BE DRIVEN TO REFUSAL WITH A HYDRAULIC HAMMER AS DEFINED BY THE SOILS ENGINEER. THE DRIVING CRITERIA WILL BE DETERMINED BASED ON THE ACTUAL HAMMER SIZE SELECTED BY THE CONTRACTOR AND THE STATIC LOAD TEST PROGRAM.
2. GEOTECHNICAL SPECIAL INSPECTOR SHALL BE CONTINUOUSLY PRESENT DURING PIPE PILE INSTALLATION.
3. STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE A OR B, Fy = 35 KSI. PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED SLEEVE COUPLERS. PIPE JOINTS ARE NOT ALLOWED TO BE WELDED TOGETHER.
4. PIPE PILES NEED TO BE PLACED WITHIN 3" OF SPECIFIED LOCATION. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRIVING PILES.

PIN PILE PLAN

BASEMENT AND GROUND FLOOR WALLS SHOWN DASHED

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG — STATE OF WASHINGTON — 43968 — REGISTERED PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

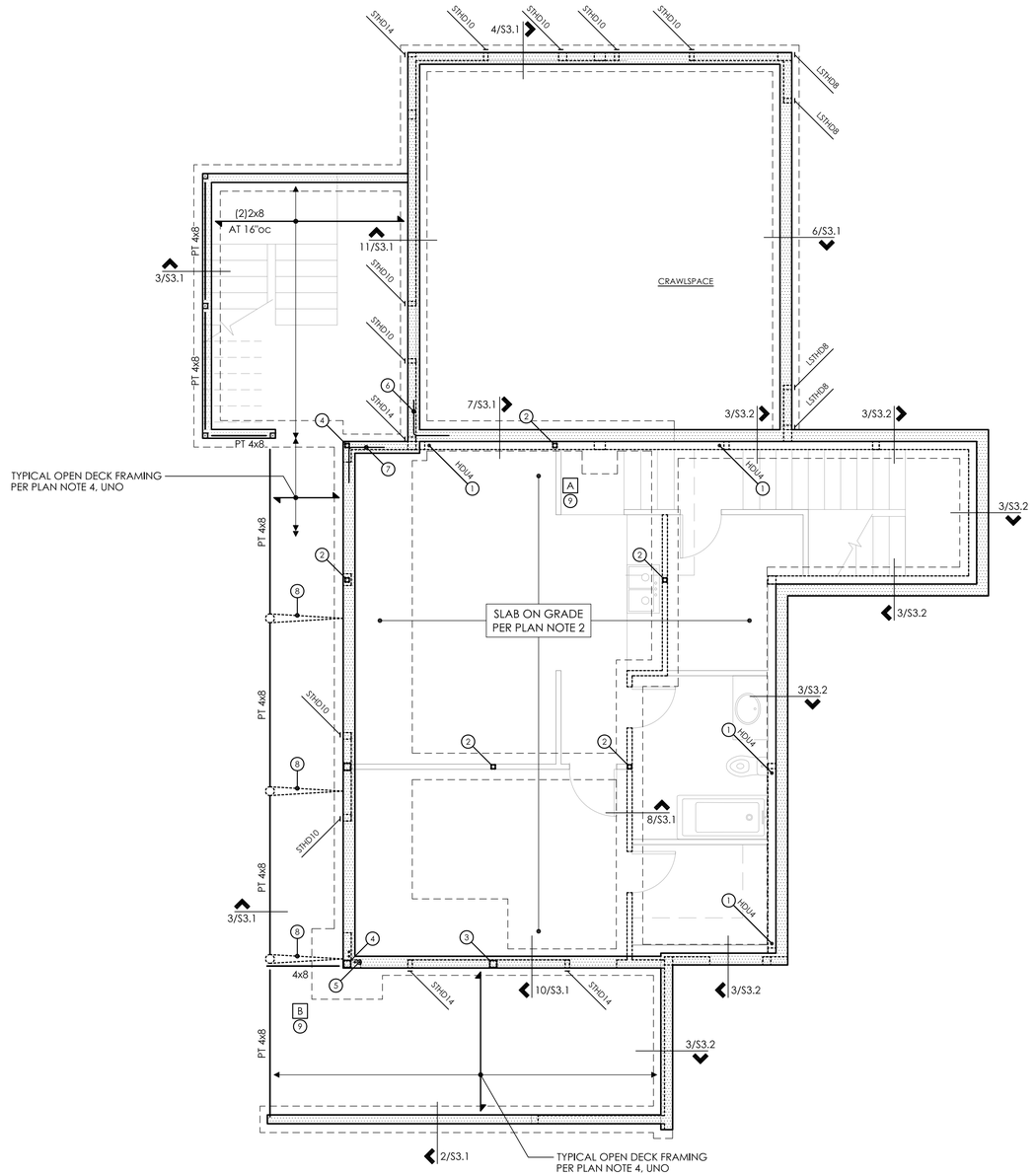
REV	DESCRIPTION	DATE

PIN PILE PLAN

SCALE - 1/4" = 1'-0"

S2.0A

Plotted By: keith
Plotted Date: Feb 06, 2015 - 5:33pm



PLAN NOTES

1. BOTTOM OF ALL FOOTINGS SHALL BE 18" MINIMUM BELOW LOWEST ADJACENT GRADE, UNO.
2. SLAB ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 18"oc EACH WAY CENTERED IN SLAB. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL PER SOILS ENGINEER.
3. REFER TO SHEET S3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.
4. TYPICAL OPEN DECK FRAMING CONSISTS OF DECKING PER ARCHITECTURAL DRAWINGS OVER PT 2x8's AT 16"oc, UNO.
5. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
6. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE WALL BELOW
- STRUCTURAL WALL ABOVE
- SPAN AND EXTENTS

FOOTNOTES

1. ALIGN w/ CS16 ABOVE
2. BASE PLATE PER 4/S3.2
3. BASE PLATE PER 8/S3.2
4. BASE PLATE PER 12/S3.2
5. PROVIDE (4)#6 VERT FULL HEIGHT SPACED AT 3"oc AT CORNER
6. PROVIDE CORNER BARS PER 4/S3.0 TYP
7. PROVIDE ADDL REINF PER 2/S3.0 AT RETAINING WALL CORNERS TYP
8. KNEE BRACE PER 2/S3.2
9. CENTER FOOTING UNDER POST ABOVE

FOUNDATION PLAN

BASEMENT AND GROUND FLOOR WALLS SHOWN DASHED

N

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
A	2'-0" x 3'-0" x 12" DP	(3)#4 BOT LONGIT
B	4'-0" SQ x 14" DP	(8)#4 EW TOP AND BOT

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

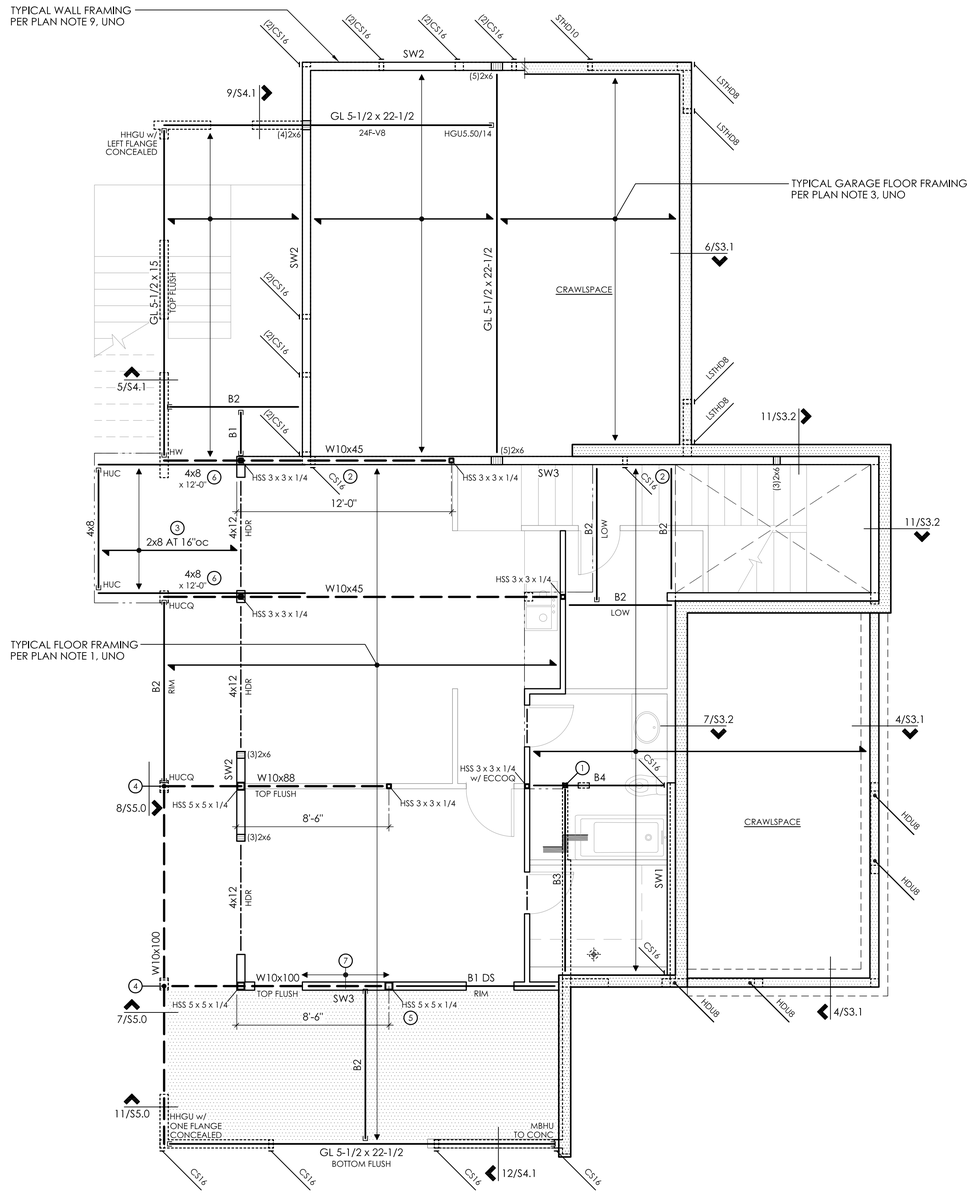
REV	DESCRIPTION	DATE

FOUNDATION PLAN

SCALE - 1/4" = 1'-0"

S2.0B

Plotted by: keith
Plotted Date: Feb 04, 2015 - 5:33pm



PLAN NOTES

1. TYPICAL FLOOR FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc, UNO. PROVIDE DBL JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH.
2. TYPICAL WATER PROOF DECK FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 2x8's AT 16"oc, UNO. JOISTS CAN BE TAPERED TO A MIN DEPTH OF 7-1/4".
3. TYPICAL GARAGE FLOOR FRAMING CONSISTS OF 3-1/2" MINIMUM CONCRETE TOPPING (6-1/4" MAX) OVER 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc.
4. GLUE AND NAIL FLOOR SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEAR-WALLS AND AT 12"oc IN FIELD, UNO.
5. "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1, UNO.
6. ALL HEADERS SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
7. PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
8. WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW, UNO.
9. TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
10. REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
11. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
12. DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE WALL BELOW
- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- PLUMBING PENETRATION ABOVE
- HORIZ CS16 x 3'-0" - BEAM TO BEAM
- STEP PER ARCH
- BLOCK DIAPHRAGM - PROVIDE FLAT 2x4 BLKG w/ 8d AT 4"oc AT ALL PANEL EDGES AND 8d AT 12"oc IN THE FIELD

FOOTNOTES

1. BASE PLATE FOR HSS ABOVE PER DETAIL 12/S5.0 - PLATE TO BEAR DIRECTLY ON BEAM. NOTCH PLYWOOD AS REQUIRED
2. ALIGN w/ CS16 ABOVE
3. PROVIDE WEB FILLER AT TJI's AND SISTER 2x8 TO TJI w/ (4)10d AT 12"oc
4. POST ABOVE TO BEAR DIRECTLY ON STEEL BEAM - PROVIDE HGA10 FROM POST TO SILL PLATE
5. PROVIDE 1" THICK BEARING PLATE TOP AND BOTTOM
6. SISTER 4x8 TO W10x45 WEB w/ 5/8"Ø WTS AT 12"oc
7. PROVIDE 1/4"Ø SDS x 4-1/2" LONG AT 6"oc FROM BOTTOM FLANGE TO TOP PLATE

GROUND FLOOR FRAMING PLAN

GROUND FLOOR WALLS SHOWN DASHED
BASEMENT FLOOR WALLS SHOWN SOLID

FLUSH BEAM SCHEDULE

MARK	SIZE	BRG STUDS	HANGER
B1	LSL 1-3/4 x 11-7/8	2	HUS1.81/10
B2	LSL 3-1/2 x 11-7/8	2	HHUS410
B3	PSL 5-1/4 x 11-7/8	3	HGUS5.50/10
B4	PSL 7 x 11-7/8	4	HGUS7.25/10

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG — STATE OF WASHINGTON — 43968 — REGISTERED PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

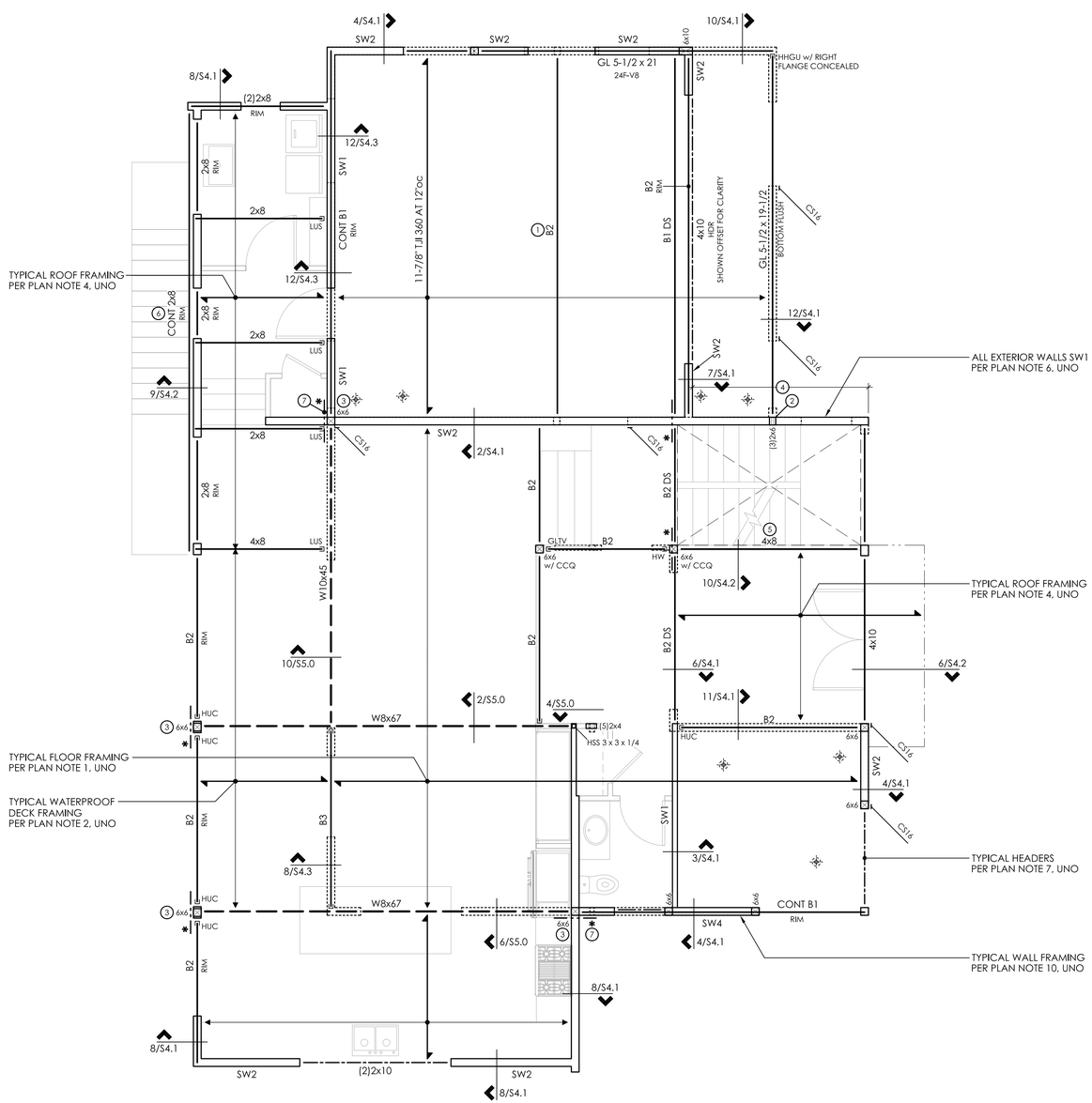
REV	DESCRIPTION	DATE

GROUND FLOOR FRAMING PLAN

SCALE - 1/4" = 1'-0"

S2.1

Plotted by: keithk
Plotted Date: Feb 04, 2015 - 5:32pm



PLAN NOTES

1. TYPICAL FLOOR FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc, UNO. PROVIDE DBL JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH.
2. TYPICAL WATER PROOF DECK FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 2x8's AT 16"oc, UNO.
3. GLUE AND NAIL FLOOR SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEAR-WALLS AND AT 12"oc IN FIELD, UNO.
4. TYPICAL ROOF FRAMING CONSISTS OF 7/16" or 1/2" APA RATED SHEATHING (SPAN RATING 32/16) OVER 2x8's AT 24"oc, UNO. PROVIDE H2.5A CLIPS EACH END OF ALL RAFTERS, AND H2.5A EACH SIDE OF MULTIPLE RAFTERS, UNO.
5. NAIL ROOF SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"oc IN THE FIELD, UNO.
6. "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1, UNO.
7. ALL HEADERS SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
8. PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
9. WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW, UNO.
10. TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
11. REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
12. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
13. DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- PLUMBING PENETRATION ABOVE
- HORIZ CS16 x 3'-0" - BEAM TO BEAM

FOOTNOTES

1. ALIGN w/ BEDROOM WALL ABOVE
2. POCKET BEAM INTO WALL
3. CONNECT STEEL BEAM TO WOOD POST PER DETAIL 3/S5.0
4. BALLOON FRAME WALL w/ 2x6 AT 12"oc FROM FIRST FLOOR TO ROOF
5. INSTALL 4x8 AT LOW ROOF ELEVATION
6. NAIL CONTINUOUS RIM TO RAFTERS w/ (4)10d EACH RAFTER
7. INSTALL CS16 STRAP FROM WEB FILLER TO RIM

SECOND FLOOR FRAMING PLAN

SECOND FLOOR WALLS SHOWN DASHED
GROUND FLOOR WALLS SHOWN SOLID

FLUSH BEAM SCHEDULE

MARK	SIZE	BRG STUDS	HANGER
B1	LSL 1-3/4 x 11-7/8	2	HUS1.81/10
B2	LSL 3-1/2 x 11-7/8	2	HHUS410
B3	PSL 5-1/4 x 11-7/8	3	HGUS5.50/10
B4	PSL 7 x 11-7/8	4	HGUS7.25/10

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

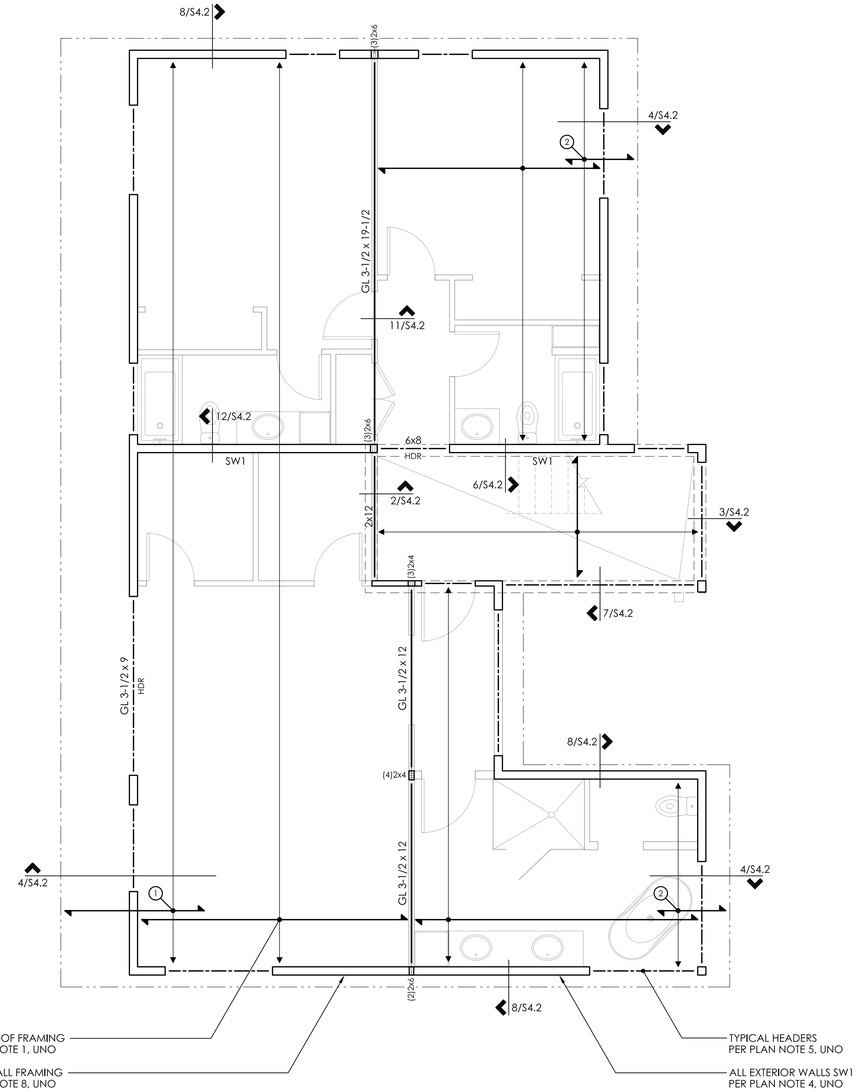
REV	DESCRIPTION	DATE

SECOND FLOOR FRAMING PLAN

SCALE - 1/4" = 1'-0"

S2.2

Plotted by: keith
Plotted Date: Feb 04, 2015 - 5:38pm



PLAN NOTES

1. TYPICAL ROOF FRAMING CONSISTS OF 7/16" or 1/2" APA RATED SHEATHING (SPAN RATING 32/16) OVER 2x12's AT 24"oc, UNO. PROVIDE H2.5A CLIPS EACH END OF ALL RAFTERS, H2.5A EACH SIDE OF MULTIPLE RAFTERS, UNO.
2. TYPICAL CRICKET ROOF FRAMING CONSISTS OF 5/8" T&G APA RATED SHEATHING (SPAN RATING 40/20) OVER 2x SLEEPERS AT 24"oc. TOENAIL SLEEPERS w/ (2)10d AT 24"oc OVER TYPICAL ROOF FRAMING. PROVIDE VENTING HOLES BELOW CRICKET ROOF FRAMING AS REQUIRED.
3. NAIL ROOF SHEATHING w/ 8d AT 6" oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"oc IN FIELD, UNO.
4. "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1, UNO.
5. ALL HEADERS SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
6. PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
7. WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW, UNO.
8. TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
9. REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
10. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
11. DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- SLOPE DN — DIRECTION OF SLOPE

FOOTNOTES

1. 2x8 x 8'-0" AT 24"oc - SISTER TO RAFTER w/ (3)10d AT 12"oc
2. 2x8 x 4'-0" AT 24"oc - SISTER TO RAFTER w/ (3)10d AT 12"oc

ROOF FRAMING PLAN

SECOND FLOOR WALLS SHOWN SOLID

N

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG — STATE OF WASHINGTON — 42868 — REGISTERED PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

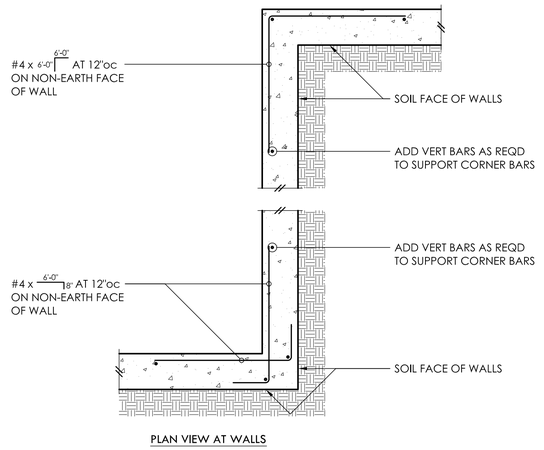
REV	DESCRIPTION	DATE

ROOF FRAMING PLAN

SCALE - 1/4" = 1'-0"

S2.3

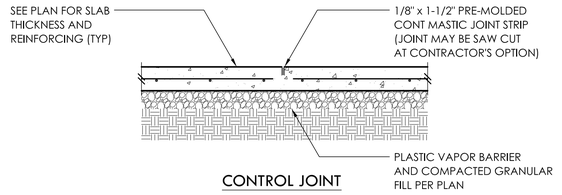
Plotted By: keith
Plotted Date: Feb 06, 2015 - 5:32pm



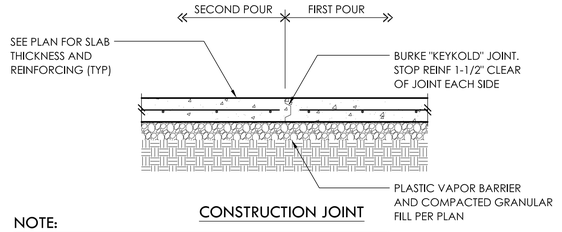
PLAN VIEW AT WALLS

1

ADDITIONAL REINFORCEMENT AT RETAINING WALLS 2



CONTROL JOINT

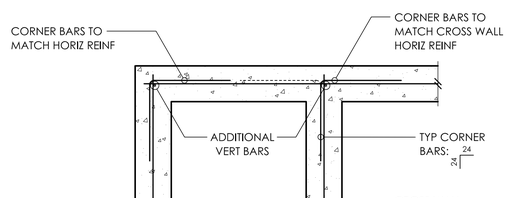


CONSTRUCTION JOINT

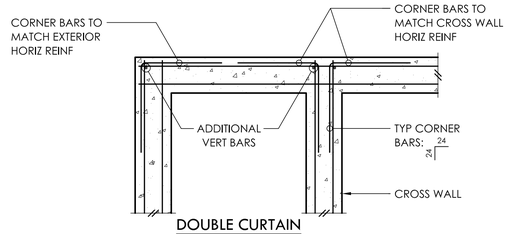
NOTE:

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

TYPICAL SLAB JOINTS 3



SINGLE CURTAIN

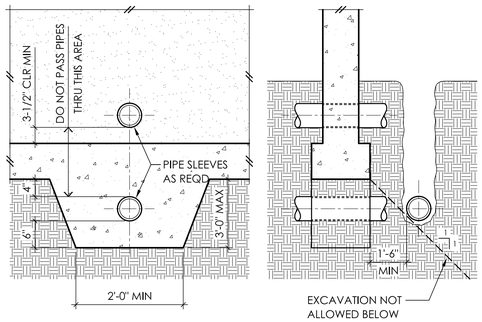


DOUBLE CURTAIN

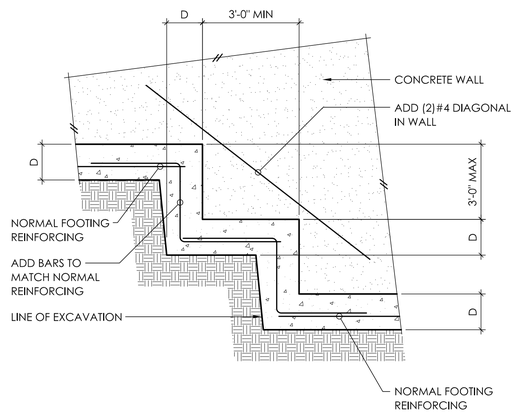
TYP CORNER BARS AT CONCRETE WALLS AND FTGS 4

5

6

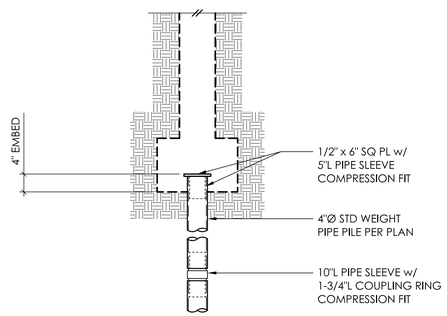


PIPE AND TRENCH LOCATIONS 7



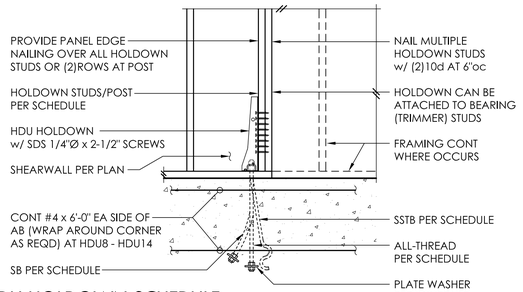
TYPICAL STEPPED FOOTING 8

9



4"Ø PILES

TYPICAL PIPE PILE 10



HDU HOLDOWN SCHEDULE

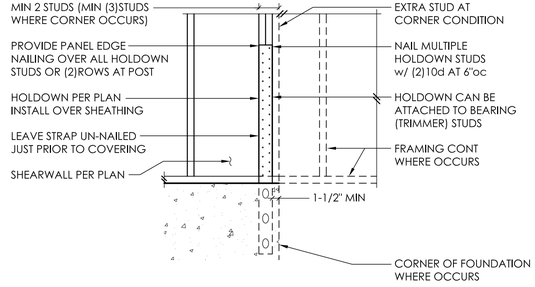
PLAN MARK	STEMWALL AB	STEMWALL EMBED	FOOTING ANCHOR BOLT ① ALL-THREAD	FOOTING ANCHOR BOLT ① WASHER	FOOTING ANCHOR BOLT ① EMBED	HD POST ② 4x WALL	HD POST ② 6x WALL
HDU2	5/8"Ø - SSTB16(L)	12-5/8"	5/8"Ø	1-1/2"SQ x 3/8	9"	(2)2x4	(2)2x6
HDU4	5/8"Ø - SB5/8 x 24	18"	5/8"Ø	1-1/2"SQ x 3/8	9"	(2)2x4	(2)2x6
HDU5	5/8"Ø - SB5/8 x 24	18"	5/8"Ø	1-1/2"SQ x 3/8	9"	(2)2x4	(2)2x6
HDU8	7/8"Ø - SB7/8 x 24	18"	7/8"Ø	2-1/4"SQ x 3/8	12"	4x6	6x6
HDU11	1"Ø - SB1 x 30 ③	24"	1"Ø	2-1/2"SQ x 3/8	12"	4x8	6x6
HDU14	1"Ø - SB1 x 30 ③	24"	1"Ø	2-1/2"SQ x 3/8	12"	4x12	6x8

① A307 ALL-THREAD w/ PLATE WASHER PER SCHEDULE AND DOUBLE NUT BOTTOM OR EQUIVALENT SIMPSON PAB

② MINIMUM SIZE OF POST UNO ON FRAMING PLANS

③ REQUIRES MINIMUM 8" THICK CONCRETE WALL

11



LSTHD/STHD HOLDOWN SCHEDULE

PLAN MARK	NAILS ①	HD POST ②
LSTHD8(RJ)	(20)16d SINKERS	DBL STUD
STHD10(RJ)	(28)16d SINKERS	DBL STUD
STHD14(RJ)	(30)16d SINKERS	DBL STUD

① 16d SINKERS = 0.148"Ø x 3-1/4"

② MINIMUM SIZE OF POST UNO ON FRAMING PLANS

12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43068
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

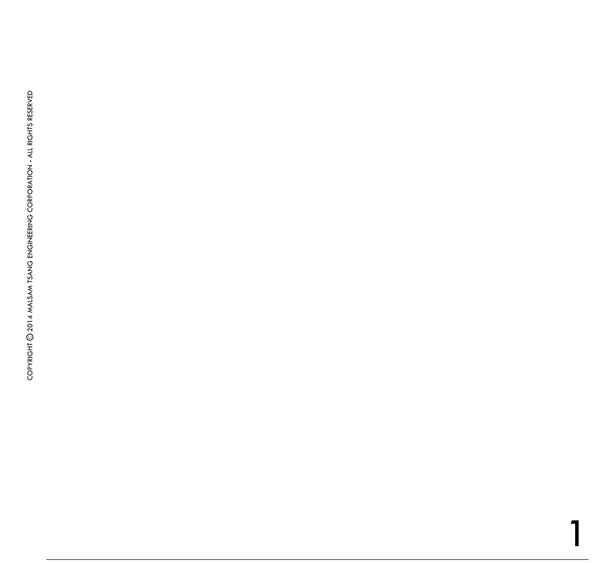
PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

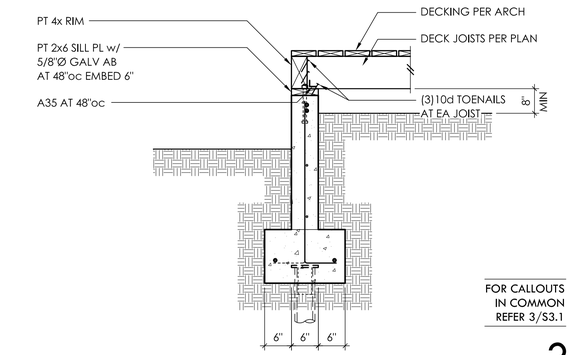
TYPICAL CONCRETE DETAILS

SCALE - 3/4" = 1'-0"

S3.0

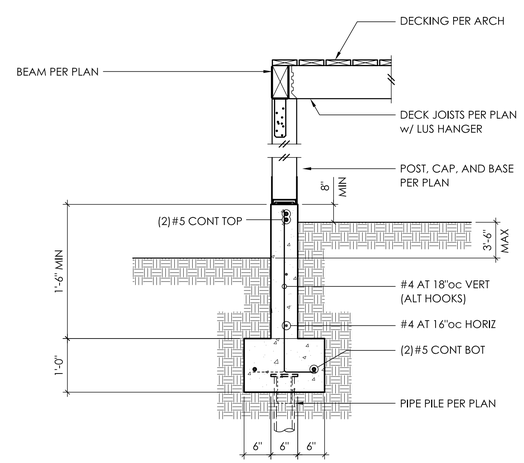


1

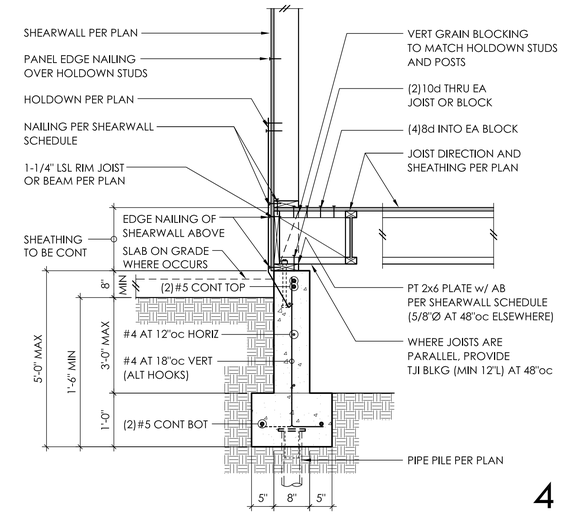


FOR CALLOUTS IN COMMON REFER 3/S3.1

2



3



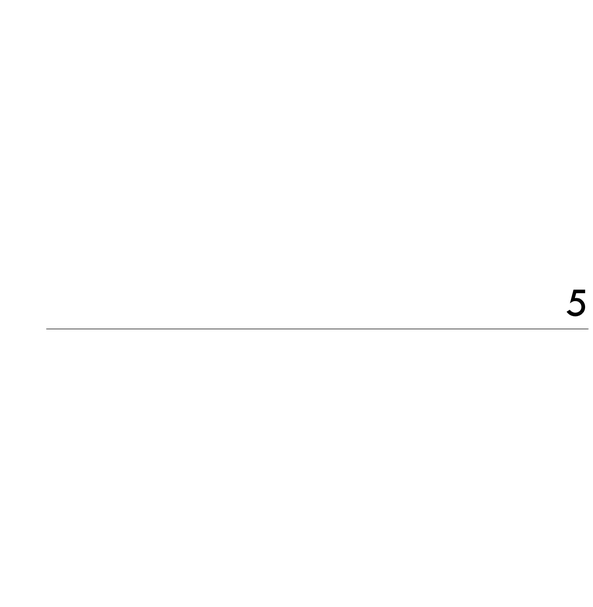
4

5

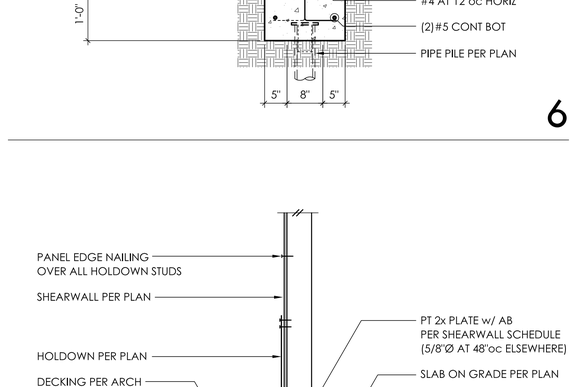
6

7

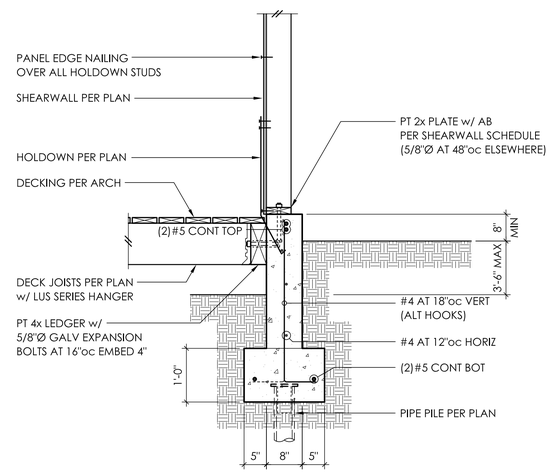
8



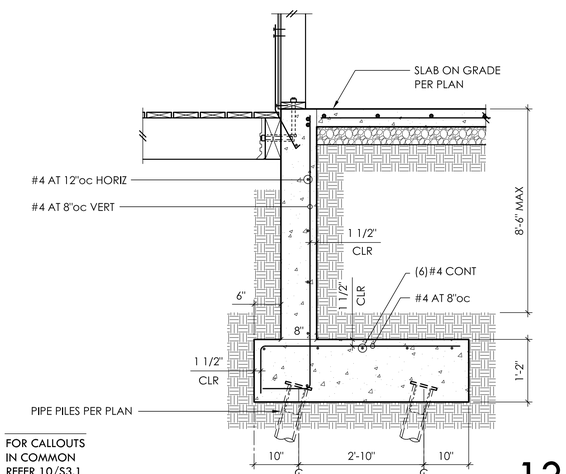
9



10



11



FOR CALLOUTS IN COMMON REFER 10/S3.1

12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

CONCRETE DETAILS

SCALE - 3/4" = 1'-0"

S3.1

1

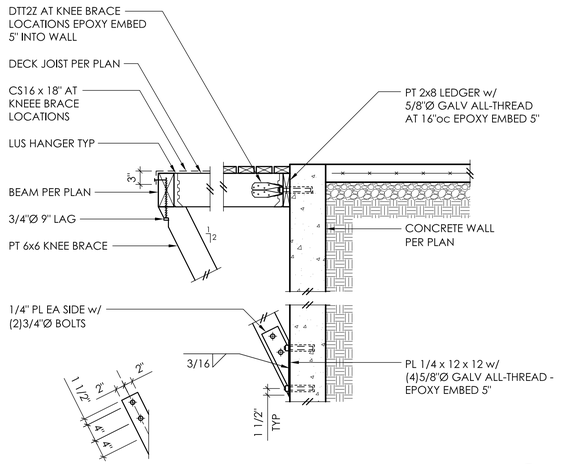
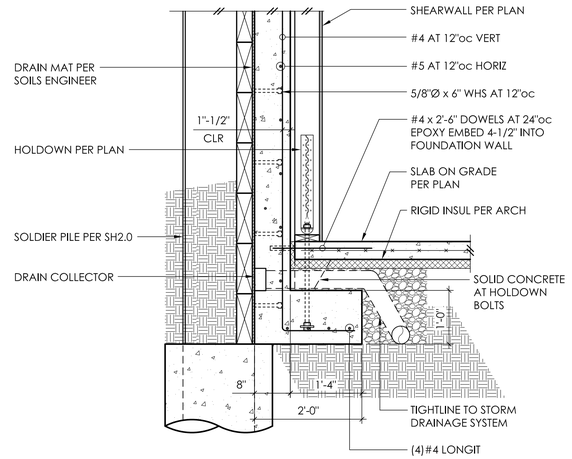
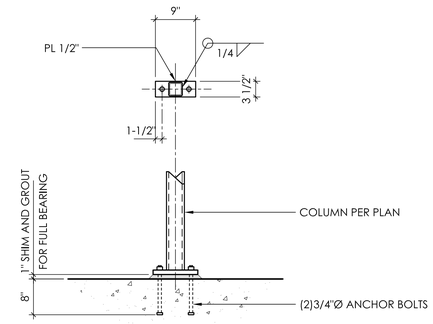


PLATE DETAIL

2



3



BASEPLATE - HSS COLUMN

4

5

6

FOR CALLOUTS IN COMMON REFER 2/S4.1

7

BASEPLATE - HSS COLUMN

8

9

10

11

CORNER OF CONCRETE STEM WALL
BASEPLATE - HSS COLUMN

12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

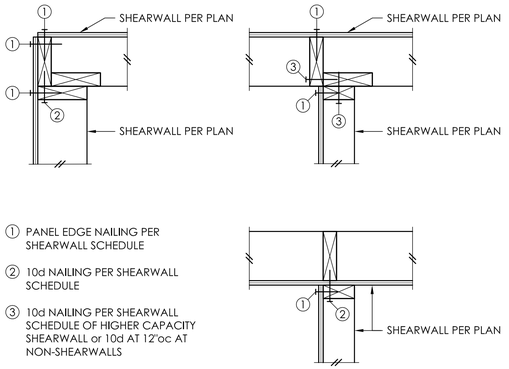
PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

CONCRETE DETAILS

SCALE - 3/4" = 1'-0"

S3.2



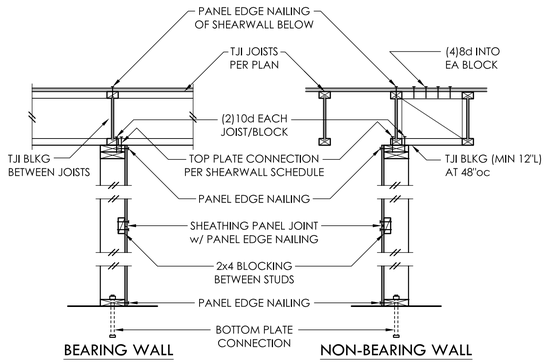
① PANEL EDGE NAILING PER SHEARWALL SCHEDULE

② 10d NAILING PER SHEARWALL SCHEDULE

③ 10d NAILING PER SHEARWALL SCHEDULE OF HIGHER CAPACITY SHEARWALL or 10d AT 12"oc AT NON-SHEARWALLS

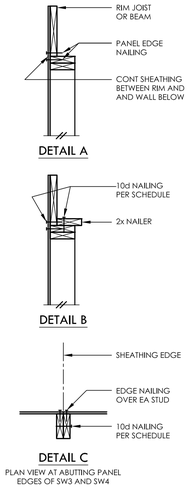
SCALE: 1-1/2" = 1'-0"

TYPICAL SHEARWALL INTERSECTIONS 1



NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, UNO

TYPICAL SHEARWALL CONSTRUCTION 2



SHEARWALL SCHEDULE①②③⑤⑥⑦

MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			TJI	RIM/BEAM⑧⑨	AT WOOD	AT CONCRETE
SW1	1/2" PLY or 7/16" OSB	8d AT 6"oc	10d AT 6"oc	A35 AT 30"oc	12d AT 6"oc	5/8"Ø AB AT 48"oc
SW2	1/2" PLY or 7/16" OSB	8d AT 4"oc	10d AT 4"oc	A35 AT 18"oc	12d AT 4"oc	5/8"Ø AB AT 42"oc
SW3④	1/2" PLY or 7/16" OSB	8d AT 3"oc	(2)ROWS 10d AT 6"oc	A35 AT 16"oc	(2)ROWS 12d AT 6"oc	5/8"Ø AB AT 36"oc
SW4④	1/2" PLY or 7/16" OSB	8d AT 2"oc	(2)ROWS 10d AT 4"oc	A35 AT 12"oc	(2)ROWS 12d AT 4"oc	5/8"Ø AB AT 24"oc

① BLOCK PANEL EDGES WITH 2x4 LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d AT 12"oc.

② 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.131"Ø x 3-1/4".

③ EMBED ANCHOR BOLTS AT LEAST 7". ALL BOLTS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.

④ 3x STUDS OR DBL STUDS NAILED TOGETHER w/ 10d NAILING IS REQD AT ABUTTING PANEL EDGES OF SW3 AND SW4. REFER TO DETAIL C. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES.

⑤ TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.

⑥ ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.

⑦ NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).

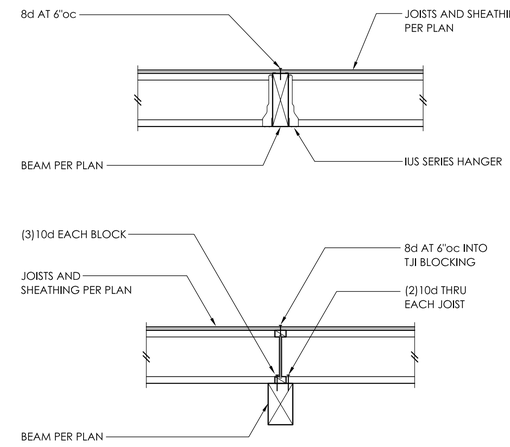
⑧ LTP4's INSTALLED OVER SHEATHING WITH 8d (0.131"Ø x 2-1/2") NAILS MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.

⑨ A35's OR LTP4's MAY BE ELIMINATED PER DETAIL A OR DETAIL B.

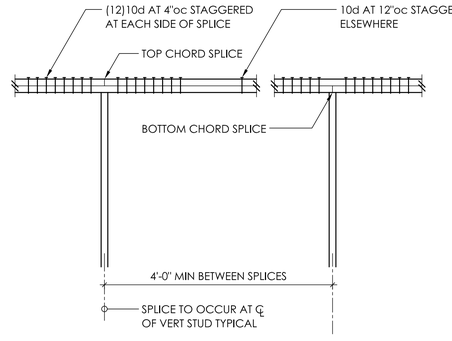
4

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104



TYPICAL FLUSH AND DROPPED BEAM 6

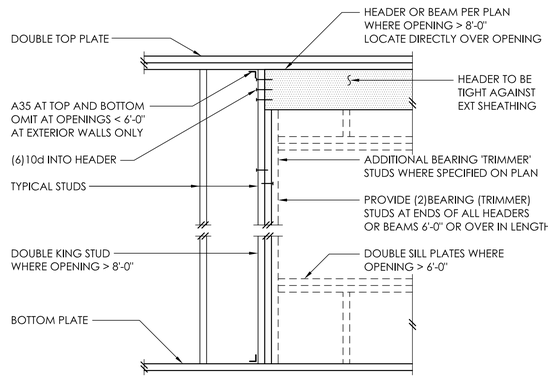


NOTE:
1. NAILING AT TOP PLATE SPLICES MAY BE ELIMINATED w/ CS16 x 30"

2. WHERE VERTICAL PENETRATIONS THRU PLATE EXCEED 1" FOR A 4x WALL OR 3" FOR A 6x WALL - PROVIDE CS16 x 30" AT TOP PLATE

3. MINIMUM EDGE DISTANCE FOR VERTICAL PENETRATIONS THRU TOP PLATE IS 1-1/4"

AT SHEARWALLS
TYPICAL TOP PLATE SPLICE 7



TYPICAL HEADER SUPPORT 8

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43988
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

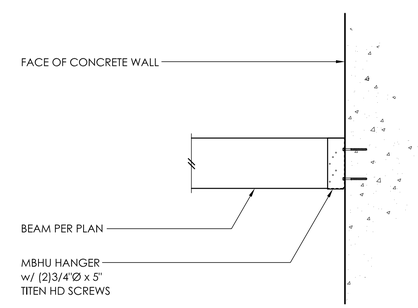
PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

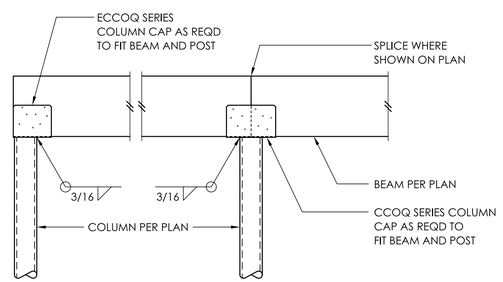
TYPICAL WOOD FRAMING DETAILS

SCALE - 3/4" = 1'-0"

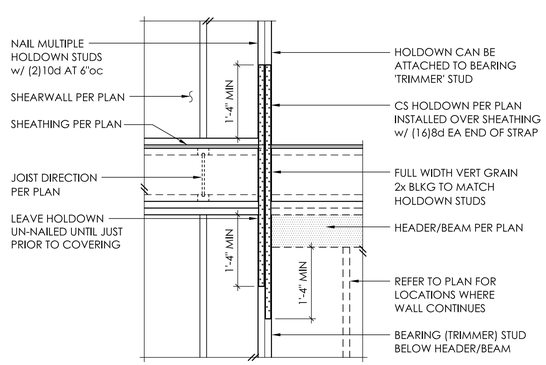
S4.0



10



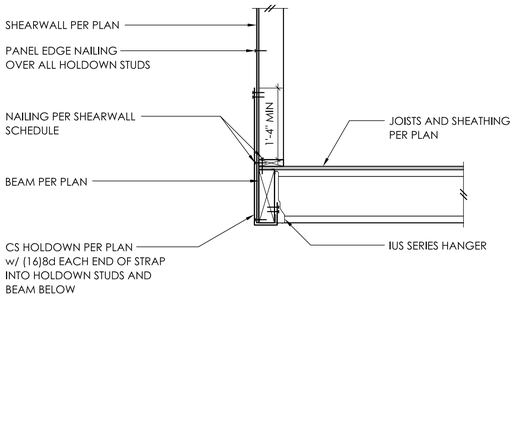
TYPICAL CCOQ / ECCOQ COLUMN CAP 11



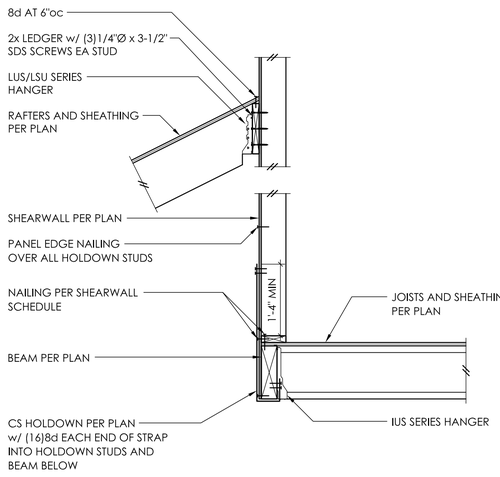
TYPICAL CS16 HOLDOWN 12

Plotted By: keith
Plotted Date: Feb 04, 2015 - 5:34pm

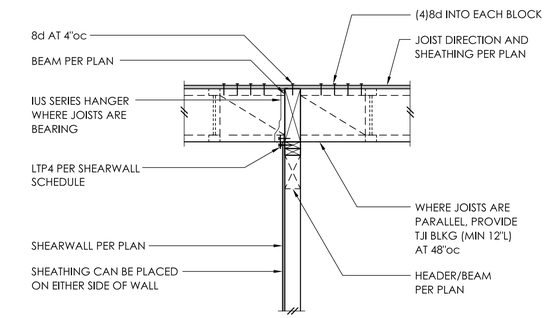
9



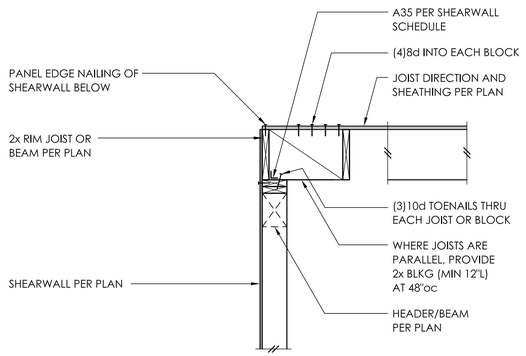
5



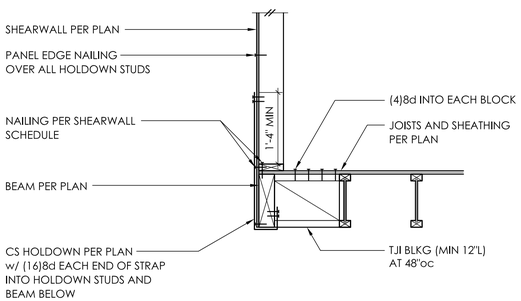
6



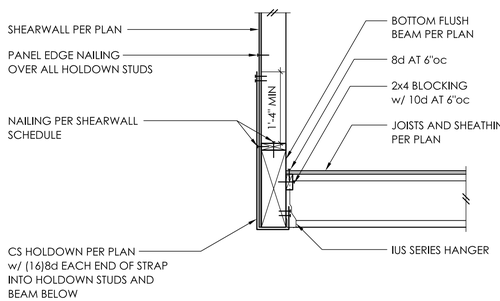
7



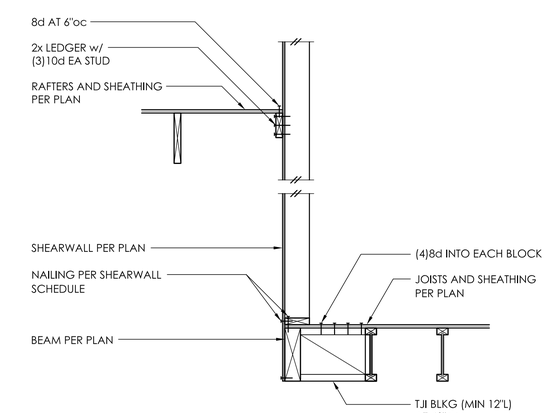
8



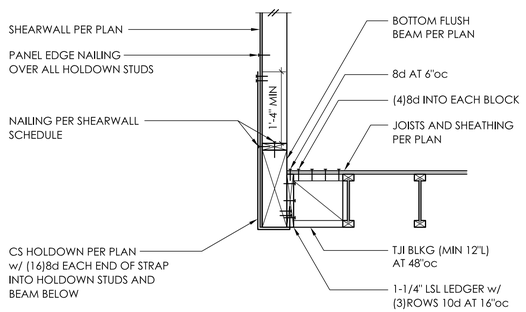
9



10



11



12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG — STATE OF WASHINGTON — 43966 — REGISTERED PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

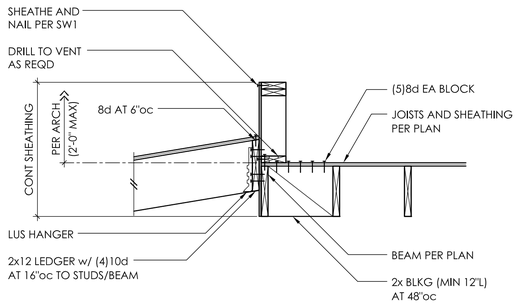
REV	DESCRIPTION	DATE

WOOD FRAMING DETAILS

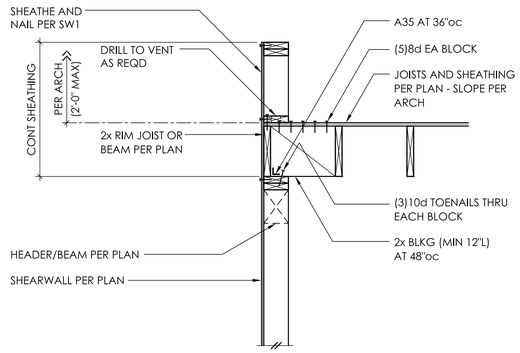
SCALE - 3/4" = 1'-0"

S4.1

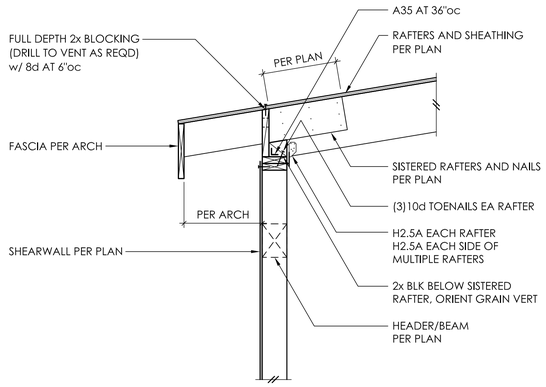
Plotted By: keith
Plotted Date: Fri, Oct 09, 2015 - 5:34pm



1

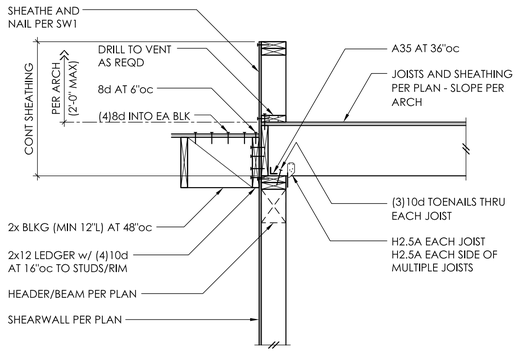


2



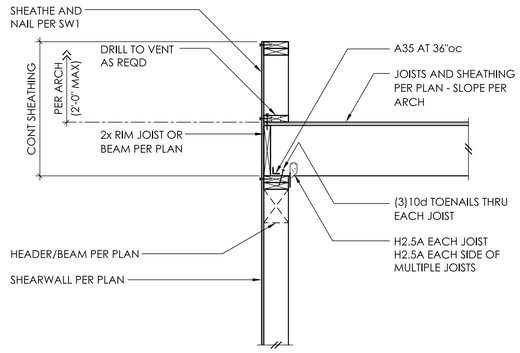
3

4

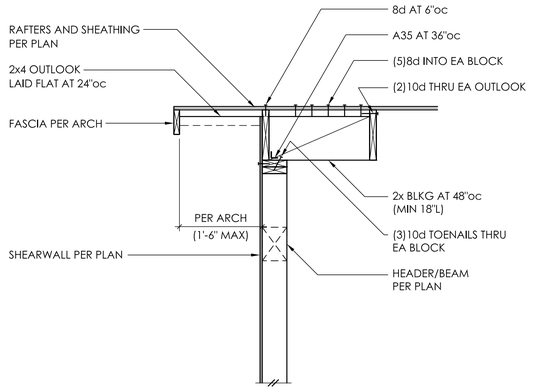


5

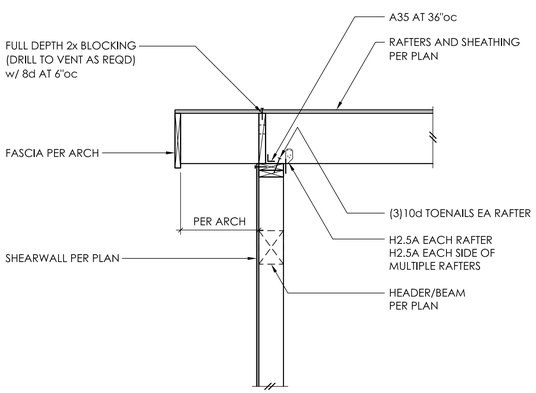
6



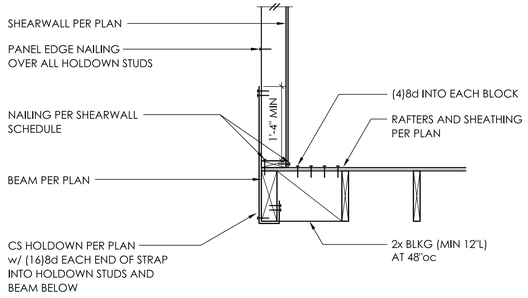
7



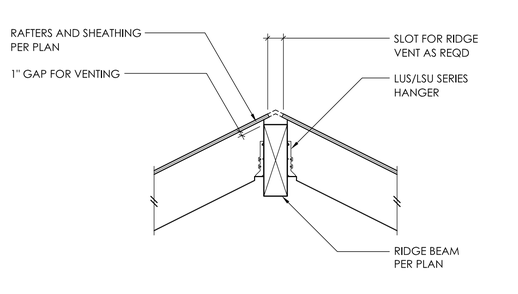
8



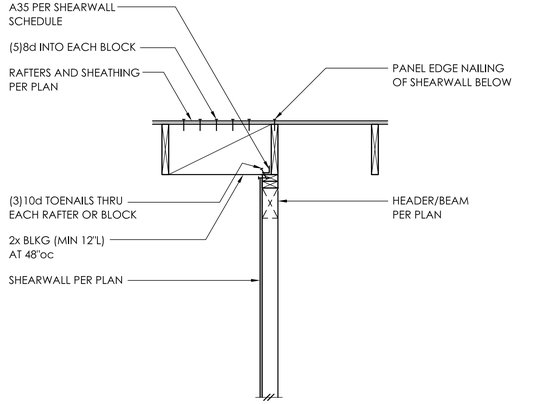
9



10



11



12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
42068
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

WOOD FRAMING DETAILS

SCALE - 3/4" = 1'-0"

S4.2

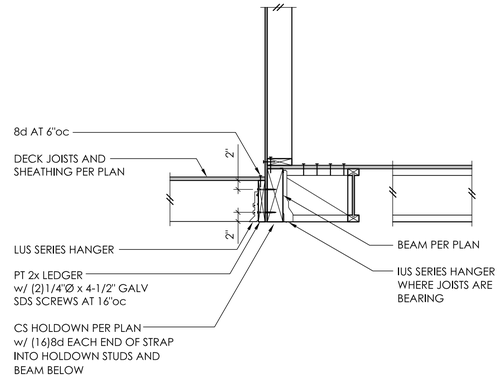
Plotted By: keith
Plotted On: Mon, Feb 09, 2015 - 5:34pm

1

2

3

4

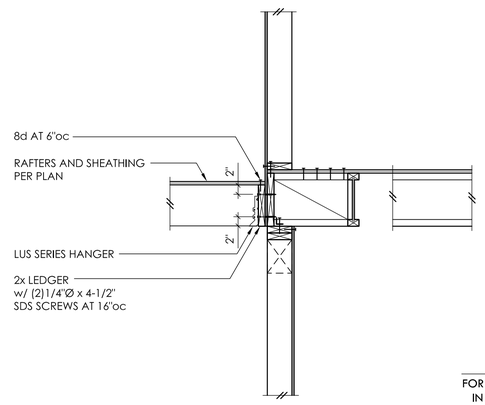


5

6

7

8



FOR CALLOUTS IN COMMON REFER 4/S4.1

9

10

11

12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

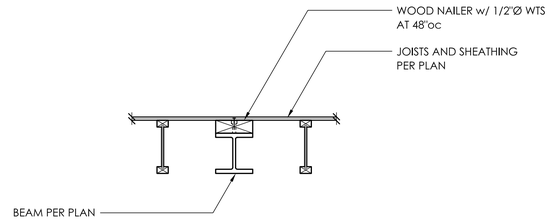
REV	DESCRIPTION	DATE

WOOD FRAMING DETAILS

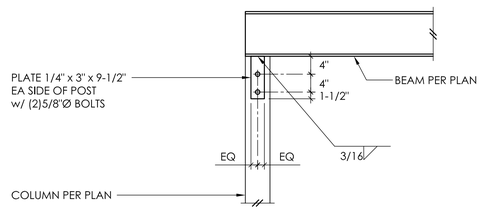
SCALE - 3/4" = 1'-0"

S4.3

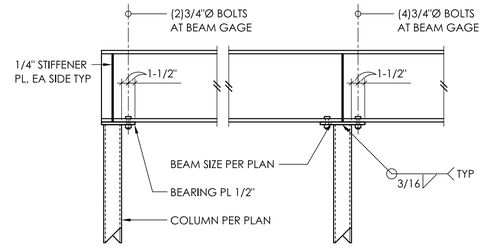
Plotted By: keith
Plotted Date: Feb 04, 2015 - 5:35pm



1



2

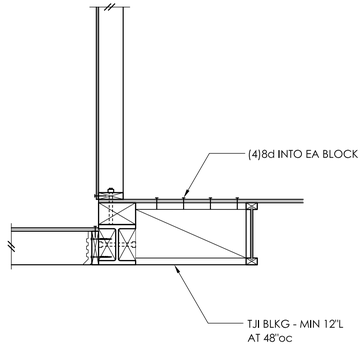


WHERE BEAM STOPS WHERE BEAM CONTINUES

3

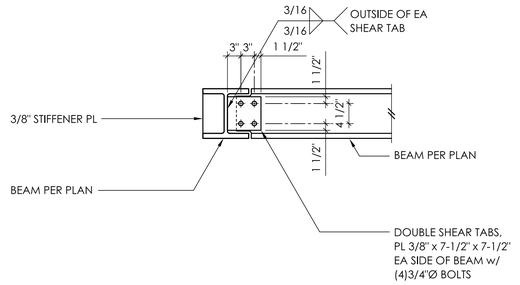
4

5

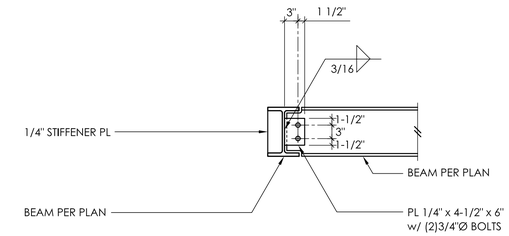


FOR CALLOUTS
IN COMMON
REFER 10/S5.0

6



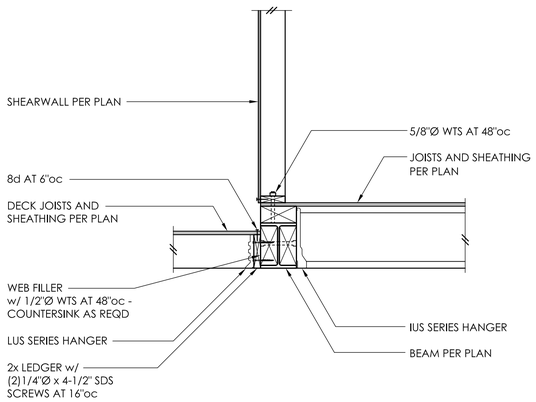
7



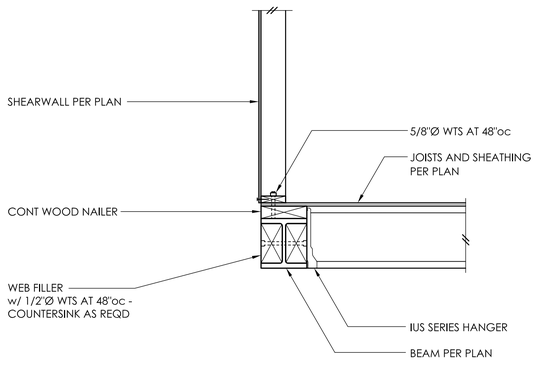
TYPICAL BEAM TO BEAM CONNECTION

8

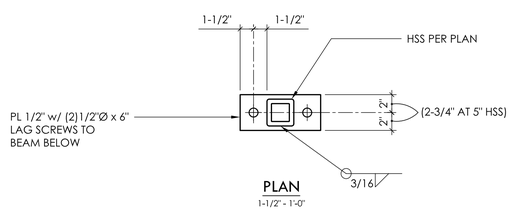
9



10



11



PLAN
1-1/2" - 1'-0"

12

MALSAM
TSANG
STRUCTURAL
ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43988
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

STEEL FRAMING
DETAILS

SCALE - 3/4" = 1'-0"

S5.0

Plotted By: keith
Plotted Date: Feb 04, 2015 - 5:34pm

GENERAL SHORING NOTES

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC) 2012 EDITION.

2. SOILS REPORT REFERENCE: GEOTECHNICAL ENGINEERING REPORT FOR HOUSE 88, 88TH AVE SE MERCER ISLAND, WA, PREPARED BY RILEY GROUP, DATED JUNE 13, 2014, JOB NUMBER 2014-100

3. THE SOIL PRESSURES INDICATED ON THE SOIL PRESSURE DIAGRAM WERE USED FOR DESIGN, IN ADDITION TO THE DEAD AND LIVE LOADS.

4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO ANY FABRICATION OR CONSTRUCTION FOR ALL STRUCTURAL ITEMS INCLUDING THE FOLLOWING: STRUCTURAL STEEL, MISCELLANEOUS METAL, TENDONS, ANCHORS, REINFORCING STEEL, GROUTS, AND CONCRETES. PROPOSED DEMOLITION AND SHORING SEQUENCE SHALL ALSO BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

5. SHOP DRAWING REVIEW OF DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND (1)COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN (2)WEEKS OF RECEIPT. ONCE THE DRAWINGS HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS THEY WILL BE MARKED WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN INTENT.

6. INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT AND TIEBACK PLACING AND STRESSING. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED TESTING AGENCY.

7. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110, 1704, AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION SHALL BE PROVIDED ON THE FOLLOWING TYPES OF CONSTRUCTION:

   CONCRETE CONSTRUCTION
   STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING)
   AUGERCAST, CAISSON, DRILLED, OR DRIVEN PILE INSTALLATION

8. THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES, TIEBACK ANCHORS, OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT ACCURATE OR COMPLETE.

9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING STRUCTURES IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.

10. SEE SOILS REPORT FOR MORE COMPLETE INFORMATION, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.

11. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF CHAPTER 19 OF THE INTERNATIONAL BUILDING CODE. REQUIRED ULTIMATE COMPRESSIVE STRENGTH OF STRUCTURAL GROUT SHALL BE REACHED BY 7-DAY FOR TIEBACKS AND 28-DAY FOR PILES.

TYPE OF CONSTRUCTION	(f'c)	MINIMUM CEMENT PER CUBIC YARD	MAX WATER PER 94 LB CEMENT
PILE LEAN CONCRETE	> 500 PSI	1-1/2 SACKS	-
PILE STRUCTURAL GROUT	2500 PSI	6 SACKS	6 GALLONS

   AS AN ALTERNATIVE TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL (2)WEEKS PRIOR TO PLACING ANY CONCRETE. THE ALTERNATE MIX DESIGN WILL BE REVIEWED FOR CONFORMANCE TO ACI 318-11 SECTION 5.3.

12. ALL LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

4x12 TIMBER LAGGING	HEM-FIR NO 1	Fb = 975 PSI
	DOUGLAS FIR-LARCH NO 2	Fb = 900 PSI
6x12 TIMBER LAGGING	HEM-FIR NO 2	Fb = 675 PSI
	DOUGLAS FIR-LARCH NO 2	Fb = 875 PSI

   TIMBER LAGGING SHALL BE TREATED PER AWPA STANDARDS TO A MINIMUM RETENTION OF 0.40 PCF. LAGGING SHALL BE 4x12, UNO.

13. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

   A. AISC 360 AND CHAPTER 22 OF THE INTERNATIONAL BUILDING CODE.

   B. APRIL 14, 2010 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AMENDED AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.

   C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

14. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	ASTM SPECIFICATION	Fy
A. WIDE FLANGE SHAPES	A992	50 KSI
B. OTHER SHAPES, PLATES, AND RODS	A36	36 KSI
C. HP-SHAPES	A572 (GRADE 50)	50 KSI
D. STRUCTURAL PIPE	A53 (GRADE B)	35 KSI
E. HOLLOW STRUCTURAL SECTIONS		
SQUARE OR RECTANGULAR	A500 (GRADE B)	46 KSI
ROUND	A500 (GRADE B)	42 KSI
F. CONVENTIONAL HIGH-STRENGTH BOLTS (3/4" ROUND, UNO)	A325	
G. COMMON BOLTS (WOOD APPLICATIONS)	A307	
H. ANCHOR BOLTS	F1554, GRADE 36	
I. HEADED SHEAR STUDS	A108	

15. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F), AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

SHORING MONITORING

16. SURVEY MONITORING OF THE SHORING WALLS SHALL BE PERFORMED TO DETERMINE THE VERTICAL AND HORIZONTAL MOVEMENT OF THE MONITORING POINTS. THE MEASURING SYSTEM SHALL HAVE AN ACCURACY OF AT LEAST 0.01 FEET. THE MONITORING PROGRAM SHALL BE DETERMINED BY THE GEOTECHNICAL SPECIAL INSPECTOR BUT AT A MINIMUM SHALL INCLUDE THE FOLLOWING:

   ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL ON ADJACENT CRITICAL STRUCTURES OR BUILDINGS WITHIN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL, AND ALONG THE CURB LINE AND CENTERLINE OF ADJACENT ROADWAYS OR ALLEYS. SURVEY POINTS SHOULD BE SPACED NO MORE THAN EVERY 20'-0" ALONG THE WALL. AT SOLDIER PILES, PLACE MONITORING POINTS AT THE TOP OF AT LEAST EVERY OTHER SOLDIER PILE. ESTABLISH A BASELINE READING OF MONITORING POINTS ON THE GROUND SURFACE AND SETTLEMENT-SENSITIVE STRUCTURES BEHIND THE SHORING WALL PRIOR TO DEWATERING, EXCAVATION, AND INSTALLATION OF THE SHORING SYSTEM. THE GEOTECHNICAL ENGINEER, CONTRACTOR, AND SURVEYOR SHALL COORDINATE LOCATIONS OF THESE MONITORING POINTS PRIOR TO THE BEGINNING OF EXCAVATION.

   A LICENSED SURVEYOR THAT IS NOT THE CONTRACTOR MUST PERFORM THE SURVEYING AT LEAST ONCE A WEEK. MONITORING POINTS ESTABLISHED ALONG THE CURB LINE AND CENTERLINE OF ADJACENT ROADWAYS NEED TO BE MONITORED WHEN TOTAL WALL MOVEMENTS REACH 0.5". THE GEOTECHNICAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AN EVALUATION OF WALL PERFORMANCE AND THE SURVEY DATA TO THE STRUCTURAL ENGINEER, SHORING DESIGNER, AND BUILDING DEPARTMENT ON AT LEAST A WEEKLY BASIS. THIS WEEKLY REVIEW MUST CONTAIN A GRAPHICAL PRESENTATION OF THE WALL MOVEMENT VERSUS TIME.

   IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER, SHORING DESIGNER, AND BUILDING DEPARTMENT IF UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENT OCCURS. IF 0.5" OF MOVEMENT OCCURS BETWEEN (2)CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENT REACHES 0.5". IF MOVEMENT EXCEEDS 0.5", THE ENGINEERS AND SHORING DESIGNER SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOVEMENT TO 1". ALL EARTHWORK AND CONSTRUCTION ACTIVITIES MUST BE DIRECTED TOWARD IMMEDIATE IMPLEMENTATION OF REMEDIAL MEASURES NECESSARY TO LIMIT TOTAL WALL MOVEMENT TO WHAT IS CONSIDERED AS ACCEPTABLE BY THE DESIGN TEAM, AND BUILDING DEPARTMENT (1" MAXIMUM).

   SURVEY FREQUENCY CAN BE DECREASED AFTER THE SHORING SYSTEM HAS BEEN INSTALLED AND THE EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO ADDITIONAL MOVEMENT. SURVEYING MUST CONTINUE UNTIL THE PERMANENT STRUCTURE (INCLUDING FLOOR SLABS AND BRACES) IS COMPLETED UP TO FINAL AND STREET GRADES. THE SURVEY FREQUENCY SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER, AFTER REVIEW AND APPROVAL BY BUILDING DEPARTMENT, AND SHALL BE BASED ON THE SHORING PERFORMANCE.

PILE AND LAGGING CONSTRUCTION

17. SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.

18. DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION.

19. PILE AND ANCHOR HOLES SHALL BE DRILLED WITHOUT LOSS OF GROUND AND WITHOUT ENDANGERING PREVIOUSLY INSTALLED PILES AND ANCHORS. THIS MAY INVOLVE CASING THE HOLES OR OTHER METHODS OF PROTECTION FROM CAVING. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDED HOLE DIGGING PROCEDURE.

20. STEEL PILE PLACEMENT TOLERANCES:

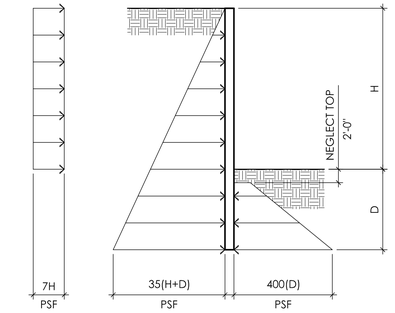
   1" INSIDE PERPENDICULAR TO SHORING WALL
   1" OUTSIDE PERPENDICULAR TO SHORING WALL
   3" LATERALLY

21. TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4'-0" IS RECOMMENDED. SPECIAL CARE SHOULD BE TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.

ABBREVIATIONS

±	PLUS OR MINUS	EMBED	EMBEDMENT	oc	ON CENTER
Ø	DIAMETER	ENGR	ENGINEER	OPP	OPPOSITE
ABV	ABOVE	EQ	EQUAL	PERP	PERPENDICULAR
ADDL	ADDITIONAL	EXT	EXTERIOR	PL	PLATE
APPROX	APPROXIMATE	FDN	FOUNDATION	PL	PROPERTY LINE
ARCH	ARCHITECT, ARCHITECTURAL	FF	FINISHED FLOOR	PSF	POUNDS PER SQUARE FOOT
BLDG	BUILDING	FT	FEET	PSI	POUNDS PER SQUARE INCH
BLW	BELOW	FTG	FOOTING	PT	PRESSURE TREATED LUMBER
BOE	BOTTOM OF EXCAVATION	GALV	GALVANIZED	REQD	REQUIRED
BOT	BOTTOM	GR	GRADE	SCHED	SCHEDULE
BTWN	BETWEEN	HF	HEM FIR	SIM	SIMILAR
℄	CENTERLINE	HORIZ	HORIZONTAL	STRUCT	STRUCTURAL
CLR	CLEAR	HSS	HOLLOW STRUCTURAL SECTION	TEMP	TEMPORARY
CONC	CONCRETE	HT	HEIGHT	THRU	THROUGH
CONT	CONTINUOUS	IBC	INTERNATIONAL BUILDING CODE	TOW	TOP OF WALL
CS	CRAWLSPACE	IN	INCH	TYP	TYPICAL
DEMO	DEMOLISH	K	KIPS (1000 POUNDS)	UNO	UNLESS NOTED OTHERWISE
DF	DOUGLAS FIR	KSF	KIPS PER SQ FT	VIF	VERIFY IN FIELD
DIA	DIAMETER	L	ANGLE	W	WIDE OR WIDTH
DIAG	DIAGONAL	L	LENGTH	w/	WITH
DIM	DIMENSION	LBS	POUNDS	w/o	WITHOUT
DO	DITTO	MAX	MAXIMUM	WHS	WELDED HEADED STUD
DP	DEEP/DEPTH	MB	MACHINE BOLT		
DWGS	DRAWINGS	MFR	MANUFACTURER		
(E)	EXISTING	MIN	MINIMUM		
EA	EACH	MISC	MISCELLANEOUS		
EL	ELEVATION	NTS	NOT TO SCALE		

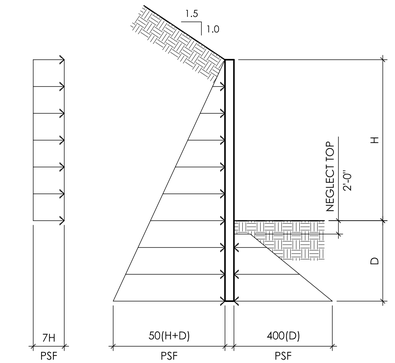
Plotted by: keith
Plotted Date: Feb 04, 2015 - 5:34pm



1

① PASSIVE PRESSURE INCLUDES A FS = 1.5 FOR TEMPORARY (SEISMIC) LOAD CASE
A FS = 1.2 HAS BEEN USED

PILE LOADING DIAGRAM 2



3

① PASSIVE PRESSURE INCLUDES A FS = 1.5 FOR TEMPORARY (SEISMIC) LOAD CASE
A FS = 1.2 HAS BEEN USED

PILE LOADING DIAGRAM 4

5

6

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

SHORING GENERAL NOTES

SCALE - 3/4" = 1'-0"

SH1.0

SHORING PILE SCHEDULE

PILE MARK	AUGER DIA	PILE SIZE	BOT OF PILE ELEV	BOT OF EXCAV	TOP OF PILE ELEV	MAX HEIGHT 'H'	MIN DEPTH 'D'	TYPE	LOADING DIAGRAM	DETAIL
P1	24"	W16x31	300'	312'	320'	8'-0"	12'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P2	24"	W16x31	300'	312'	324'	12'-0"	12'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P3	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P4	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P5	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P6	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P7	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P8	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P9	24"	W16x57	298'	313'	325'	12'-0"	15'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P10	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P11	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P12	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P13	24"	W16x31	303'	313'	320'	7'-0"	10'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P14	24"	W16x31	303'	313'	319'	7'-0"	10'-0"	CANTILEVER	4/SH1.0	4/SH3.0

SHORING NOTES

1. REFER TO GENERAL SHORING NOTES SHEET SH1.0 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SOILS REPORT FOR ADDITIONAL SHORING INSTALLATION REQUIREMENTS.
3. REFER TO SHEET SH3.0 FOR TYPICAL SHORING DETAILS.
4. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS.
5. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

⊖	DRILLED PILE
P__	PILE MARK
BOE	BOTTOM OF EXCAVATION
TOW	TOP OF WALL
FF	FINISH FLOOR
CS	CRAWLSPACE
0.0'	TEMPORARY GRADING SPOT ELEVATION
▶——	SLOPING EXCAVATION - 1.5H:1V PER GEOTECHNICAL ENGINEER

SHORING PLAN

N

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C PROGRESS SET - 11.21.14 STRUCTURAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
X.X.XX

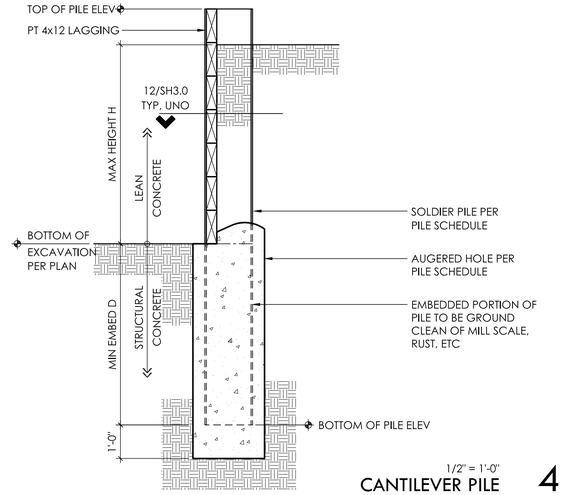
REV	DESCRIPTION	DATE

SHORING PLAN

SCALE - 1/4" = 1'-0"

SH2.0

Plotted By: keith
Plotted Date: Oct 04, 2015 - 5:33pm



1/2" = 1'-0"
CANTILEVER PILE 4

7

1/2" = 1'-0"
TYPICAL SHORING DRAINAGE 8

11

12

MALSAM TSANG
STRUCTURAL ENGINEERING
122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T

IVAN C. TSANG
STATE OF WASHINGTON
43968
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPAL	ICT
ENGINEER	SKH WAI
DRAWN	RAP
PROJECT NO	0285.2014.01.01

PERMIT SET
2.5.15

REV	DESCRIPTION	DATE

SHORING DETAILS

SCALE - 3/4" = 1'-0"

SH3.0

Plotted By: kate
Plotted Date: Feb 04, 2015 - 5:34pm